



PLANNING AND ZONING  
COMMISSION  
AGENDA

**PLANNING AND ZONING COMMISSION  
NOTICE OF PUBLIC MEETING  
July 14<sup>th</sup>, 2022  
9:00 AM**

**Council Chambers + Zoom Meeting  
201 S. Cortez St.  
Prescott, Arizona 86303  
(928) 777-1207**

The following Agenda will be considered by the **Planning and Zoning Commission** at the meeting to be held **July 14<sup>th</sup>, 2022**. Notice of this meeting is given pursuant to Arizona Revised Statutes, Section 38-431.02.

**Join Zoom Meeting <https://us02web.zoom.us/j/84371479453>**

**Dial by your location**

1 346 248 7799 **or**  
1 669 900 6833

**Meeting ID:** 843 7147 9453

- 1. Call to Order
- 2. Roll Call

MEMBERS	
Don Michelman, Chair	Thomas Hutchison
Ted Gambogi, Vice Chair	Thomas Reilly
Stan Goligoski	Butch Tracey
Susan Graham	Brandon Montoya, Council Liaison

3. Discussion & Action Items

- A. Approval of Minutes from June 9, 2022 and June 30, 2022.
- B. CSP22-001: Proposed Comprehensive Sign Plan for Prescott Center of Fine Arts; 222 N Marina Street; Property Owner: Prescott Fine Arts Association; Applicant: Morgan Sign/ Sigtific LLC. APN 113-16-014.
- C. SITE22-008: Site Plan Review for an Exceptional Healthcare specialty hospital on approximately 8.65 acres. Zoning: BR (Business Regional); Property Owner: Exceptional Healthcare; Applicant: BMH As-built USA of Texas Inc.; Site APN: 103-15-160A; Location: 4822 E State Route 69.
- D. SITE22-009: Site Plan Review to establish a new 3,842 square foot medical building on approximately 2.01 acres. Zoning: IL (Industrial Light); Property Owner: Healing Holdings LLC; Applicant: Michael Taylor Architects INC; Site APN: 102-06-207U Location: 2121 Assurance Way.

- E. SITE22-010: Site Plan Review to establish a new 10-unit village using Airstream trailers for short term rentals on approximately 0.97 acres. Zoning: BR (Business Regional); Property Owner: Loma Buena LLC; Applicant: Kimley Horn and Associates Inc.; Site APN: 109-03-100 Location: 310 S Montezuma Street.

4. Updates

- a. Staff Announcements
- b. Staff General Plan Update
- c. City Council action on projects reviewed by the Planning and Zoning Commission.

5. Adjournment

CERTIFICATION OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Prescott City Hall on 7-7-22 at 3:00 pm in accordance with the statement filed by the Prescott City Council with the City Clerk.

*Sarah M. Siep*

\_\_\_\_\_  
Sarah Siep, City Clerk

**THE CITY OF PRESCOTT ENDEAVORS TO MAKE ALL PUBLIC MEETINGS ACCESSIBLE TO PERSONS WITH DISABILITIES. With 48 hours advanced notice, special assistance can be provided for sight and/or hearing-impaired persons at this meeting. Reasonable accommodations will be made upon request for persons with disabilities or non-English speaking residents. Please call the City Clerk (928) 777-1272 to request an accommodation to participate in this public meeting. Prescott TDD number is (928) 445-6811. Additionally, free public relay service is available from Arizona Relay Service at 1-800-367-8939 and more information at [www.azrelay.org](http://www.azrelay.org)**



**PLANNING & ZONING  
COMMISSION MINUTES**

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**PLANNING & ZONING COMMISSION  
REGULAR MEETING  
THURSDAY, JUNE 9<sup>th</sup>, 2022  
9:00 AM**

**Virtual Zoom Meeting + Council Chambers  
201 S. CORTEZ ST.  
PRESCOTT, AZ 86303  
928-777-1207**

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Minutes of the Planning & Zoning Commission on June 9<sup>th</sup>, 2022, on a Virtual Zoom Meeting and in Council Chambers at 201 S. Cortez St. Prescott, Arizona.

**1. CALL TO ORDER**

Chairman Michelman called the meeting to order at 9:02 A.M.

**2. ROLL CALL**

**Members:**

- Don Michelman, Chairman
- Ted Gambogi, Vice-Chairman
- Stan Goligoski
- Susan Graham
- Thomas Hutchison
- Thomas Reilly
- Butch Tracey

**Staff:**

- Bryn Stotler, Community Development Director
- George Worley, Planning Manager
- Tammy Dewitt, Community Planner
- Kaylee Nunez, Recording Secretary
- Chris Resare, Assistant City Attorney

**City Leadership:**

- Councilman Brandon Montoya, Liaison
- Councilmember Cathey Rusing

**3. REGULAR AGENDA**

A. Approval of the minutes from the May 12<sup>th</sup>, 2022, meeting.

**Commissioner Goligoski moved to approve the minutes of the May 12<sup>th</sup>, 2022; Planning & Zoning Commission meeting seconded by Commissioner Tracey: Passed (5-0).**

**\*Commissioner Graham abstained from voting as she was not present at the May 12<sup>th</sup> meeting\***

**B. Discussion:** Review of Site Plans for Water Service Agreements

Community Development Director presented an overview of the new Site Plan review policy as enacted by the City's most recent Water Policy, adopted in May. All new commercial projects and complex commercial projects will be required to go through a Site Plan review process moving forward. Land use elements such as buffering, parking, landscaping, and lighting will be reviewed by the Planning and Zoning Commission, who will make a recommendation to Council. Water use is not within the purview of the Planning & Zoning Commission.

**C. SITE22-001:** Site Plan Review to demolish 8 apartments units, clubhouse and pool and build 90 new units for a total of 120 dwelling units, clubhouse, and pool on approximately 6.76 acres. Zoning: BG (Business General) and MF-H (Multi Family- High Density); Parcel Number: 109-15-015B and 109-15-019C, 301 S Cortez St. Property Owner: Cortez Circle Development LLC; Applicant: Stroh Architects INC; Site APN: 109-15-015B and 109-15-019C; Location: 601 S Cortez St

Community Planner Tammy Dewitt presented an overview of the request. The applicant seeks to 'modernize' the apartment complex, which was built in the 1970s. Ms. Dewitt presented a zoning map of the subject parcels, one being zoned BG (Business General) and one being zoned MF-H (Multifamily High Density). BG allows a max height of 50', MF-H allows 35'. The site plan review criteria are as follows:

- Building Lot and Setback Requirements
- Internal Circulation, public, private of emergency
- Landscaping, screening, and buffering
- Outdoor Lighting
- Parking and maneuvering areas
- Public road or street access with proposed street grades.

Ms. Dewitt presented an aerial image of the property as well. She clarified that not all the existing apartments will be demolished; that 90 units as well as a new clubhouse and pool will be constructed, with the balance of remaining 30 units being composed of existing units. She also presented perspective renderings provided by the project Architect, Doug Stroh.

Commissioner Hutchison asked for Ms. Dewitt to identify the front lot line; she identified it as adjacent to Cortez St., which is the main access point. Mr. Hutchison asked what the setback to that line is.

Doug Stroh, project Architect, clarified that the front building is setback 20'. Mr. Stroh also commented that this project is a perfect infill project for the downtown area and hopes that it is a 'poster child' for other Site Plan reviews. He explained that none of the current tenants will be displaced by this project. Mr. Stroh also explained that the pool will be covered when not in use as to minimize water loss from evaporation. The clubhouse will have all the typical amenities such as a gym, office center and meeting rooms. Most of the trees on the property will be preserved during construction.

Commissioner Hutchison asked where children would play, and pets would go. Mr. Stroh commented that all open space/recreation areas planned are not shown on this preliminary Site

Plan but that he plans to include them. There are a couple 'pocket parks' currently represented on the Site Plan.

Chairman Michelman asked whether low flow water devices would be installed in the new buildings. Mr. Stroh answered that they would and that all new units will be designed to Energy Star standards. He also explained that all landscaping would be low water use as well.

Commissioner Hutchison asked for clarification whether the buildings on the Western perimeter are within the required setbacks. Mr. Stroh and Ms. Dewitt clarified that they are. He also asked whether traffic on South Cortez is a concern; Mr. Stroh answered that the subject section of Cortez is quiet, so it is not.

**Commissioner Gambogi moved to approve SITE22-001, seconded by Commissioner Reilly: Passed (7-0).**

D. **PLN21-007:** Preliminary Plat of South Ranch at Deep Well Subdivision, Units 1, 2 & 3; Zoning: Special Planned Communities (SPC); Property owner: James Deep Well Ranches #1, LLC; APN 102-05-036A.

Planning Manager George Worley clarified that the ownership of the subject property has changed between the time that the project was submitted and today's meeting. The new owner is now Ash-Dorn LLC. Mr. Worley presented aerial and zoning maps of the subject property. He also presented a Subdivision layout, which details the parcel as being 87.3 acres with 359 lots, a portion of which resides in Airport Impact Zone 6. He clarified that access would be from James Ln. to Jenna Ln. or Willow Creek Rd. to Jenna Ln. Mr. Worley also presented a closer view of the northern portion of the proposed subdivision, which details several cul-de-sacs along the western side.

Mr. Worley also explained that portions of Jenna Ln. have still not been completed, which will be crucial for fire and emergency access to the proposed subdivision.

Dr. Robin Sobotta, Airport Director, presented a flight density map which details significant overflight in the proposed subdivision area. This will mean significant overflight and noise activity for residents. She emphasized that it is important for regular and emergency aircraft operations to continue unhindered and that there will be additional information and analyses needed. These include: submittal of the FAA 7460 form, a future height and safety controls analysis, a OEI (one-engine) splay analysis and a noise contour analysis. Dr. Sobotta also shared that a noise contour update for the Airport is underway, and that the Airport expects a draft within the next month.

Dr. Sobotta also presented an Airport Impact Zone map, which details that a portion of impact zone 6 as well as the OEI splay, overlap the subdivision. She explained that 85+ aircraft impacts have occurred in the Airport vicinity, the most recent of which being a couple weeks ago. She presented an Airport Influence Area (AIA) Avigation Easement requirement, which will involve buyers and renters within specific impact zones being mandated to sign a disclosure acknowledging that they are going to be living in an area with significant overflight.

Commissioner Graham asked whether the information presented by Dr. Sobotta reflects future expansion(s) of the runways. Dr. Sobotta answered that the runway will be expanded to the east, however, additional penetrations into the impact zones to the east may result in airlines having to reduce their passenger load to gain appropriate clearance. She also explained that failure of the

City to avoid development in certain impact zones may delay the extension of the runway by 2-3 years.

Commissioner Gambogi asked how long the runway must be for planes to take off with a full load. Dr. Sobotta explained that a study completed in 2020 recommended a length of 11,000 feet. She also explained that the only way it can be mitigated is by reducing weight on aircrafts, which means fuel, baggage, or people. Mr. Gambogi also asked whether an accurate depiction of the lots within the noise contours could be provided. Dr. Sobotta answered that the contours would be provided later this month but that a map with the impact zone(s) overlaid upon the lots could be provided now.

Commissioner Hutchison asked whether the development of this project could in any way jeopardize the future of the Airport. Dr. Sobotta answered that she believes it would.

Commissioner Reilly asked if the impacts of Willow Creek Rd. on the runway extension have been assessed, she answered that it has. She explained that there are multiple 'layers' that are considered with roadway obstruction analyses and that the Airport has not received a study of that kind for this project.

Commissioner Goligoski asked whether the OEI splay was created in response to Deep Well Ranch (DWR) development. Dr. Sobotta answered that it was created in response to FAA criteria. She also explained that the current impact zones were created in 2011 as a guide for land use compatibility within the Airport vicinity area. Commissioner Goligoski asked whether a commercial use would be viewed more 'generously' in the subject area. Dr. Sobotta answered that there are many layers to determining that and that more open space is viewed favorably.

Commissioner Reilly questioned whether the impact zone(s) could preclude development of any kind in this area and whether the City is prepared to buy land as a result. Dr. Sobotta referred to the area highlighted in blue on the Airport Impact Zones map, explaining that this area is targeted for approach protection and, consequently, land acquisition. This area meets requirements for reimbursement by the FAA, the reimbursement is not guaranteed but is targeted for \$3.3 million in assistance. Mr. Reilly also asked why the area to the east of the proposed development is not within the Airport Impact zone 6. She explained that it has been designated as 'Civic' which might require the City to acquire portions as well.

Chairman Michelman asked for clarification on whether landing aircraft will have any additional exposures within this area, as most of the discussion has been centered on aircraft taking off. Dr. Sobotta answered that aircraft are most vulnerable during takeoff and landing but that the impact areas are not exclusive to those two activities but are based on NTSB(National Transportation Safety Board) historic data.

Mr. Worley explained that staff is working on a [potential] changes to the Land Development Code (LDC) that would make Airport Impact Zones more enforceable. These changes will be brought in front of the Commission within the next month or two for review.

Commissioner Reilly asked whether staff recommends postponing remaining questions until more information on the changes to the LDC regarding the Airport are brought forward. Mr. Worley said that more questions are still welcomed at this time. Commissioner Reilly asked whether the proposed density of the development is compatible with surrounding developments, Mr. Worley answered that it is. Commissioner Reilly also asked for a more accurate depiction of where the Impact Zone crosses the proposed development.

Commissioner Hutchison asked whether it is irresponsible for the City to allow the building of houses at ‘the end of a very busy’ runway. Chris Resare, Assistant City Attorney, answered that ‘it depends’ and that specific information must be reviewed by the Legal Department to make that determination.

Applicant Duane Hunn with Dorn Homes explained that they bought property that is designated [in the Deep Well Master Plan] as being residential and that they did provide materials that had the impact zone and OEI splay marked on the proposed development. Mr. Hunn also shared that they have submitted 11 different points to the FAA; 6 of which have been returned with a ‘no obstruction’ determination. The remaining points will be assessed to determine the max heights and that Dorn will adjust their plans as a result.

Commissioner Hutchison asked Mr. Hunn where he sees most of the traffic from the proposed development ‘dumping’ on to. Mr. Hunn answered that it would go to Willow Creek and that he believes an additional traffic signal will be installed as a result.

Commissioner Gambogi asked whether lot size was calculated by first subtracting total open space area then dividing the remaining acreage by the number of lots. Mr. Hunn answered that there would be three different lot types within this subdivision so there will be a mixture of [lot] sizes. Commissioner Gambogi asked what size of homes would typically be on these lots; Mr. Hunn answered they will be around 2000 square feet.

Commissioner Tracey asked Mr. Hunn whether they do noise abatement during construction of these homes; Mr. Hunn answered that they do and that it makes a big difference.

Commissioner Goligoski stipulated that the Commission should rejoin on this issue when the following, specific items are complete:

- Airport Overlay Analysis
- OEI Analysis
- Noise Contour Analysis
- Land Development Code Analysis

**Commissioner Reilly moved to table PLN21-007 until such time as the outstanding issues of Airport concern have been addressed, seconded by Commissioner Tracey: Passed (7-0).**

#### **4. UPDATE OF CURRENT EVENTS OR OTHER ITEMS OF NOTE**

Planning Manager George Worley announced that we will be starting work on our General Plan update soon as well as the Airport Overlay draft.

#### **5. ADJOURNMENT**

There being no further business to discuss, Chairman Michelman adjourned the meeting at 10:34 AM.

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Kaylee Nunez, Recording Secretary

ATTEST:

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Don Michelman, Chairman





**PLANNING & ZONING  
COMMISSION MINUTES**

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**PLANNING & ZONING COMMISSION  
REGULAR MEETING  
THURSDAY, JUNE 30<sup>th</sup>, 2022  
9:00 AM**

**Virtual Zoom Meeting + Council Chambers  
201 S. CORTEZ ST.  
PRESCOTT, AZ 86303  
928-777-1207**

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Minutes of the Planning & Zoning Commission on June 30<sup>th</sup>, 2022, on a Virtual Zoom Meeting and in Council Chambers at 201 S. Cortez St. Prescott, Arizona.

**1. CALL TO ORDER**

Chairman Michelman called the meeting to order at 9:00 A.M.

**2. ROLL CALL**

**Members:**

Don Michelman, Chairman  
Ted Gambogi, Vice-Chairman  
Stan Goligoski  
Susan Graham  
Thomas Hutchison  
Thomas Reilly  
Butch Tracey, Absent

**Staff:**

George Worley, Planning Manager  
Tammy Dewitt, Community Planner  
Kaylee Nunez, Recording Secretary  
Assistant City Attorney, Matt Podracky

**City Leadership:**

Councilman Brandon Montoya, Liaison  
Mayor Phil Goode

**3. REGULAR AGENDA**

A. Approval of the minutes from the June 9<sup>th</sup>, 2022, meeting.

**\*Chairman Michelman deferred voting on this item as there are corrections that need to be made to the June 9<sup>th</sup>, 2022 meeting minutes.\***

B. **MP22-001:** Master Plan Amendment for Granite Dells Estates for Phases 6, 7, and 8. Property Owner: Mike Fann; Applicant: Dorn Homes Inc.

Planning Manager George Worley presented a project overview of the Master Plan Amendment and the associated Preliminary Plat (item PLN22-001). An aerial vicinity map was presented, detailing the subject property adjacent to the eastern border of the current Granite Dells Master Plan. The lots proposed are above and beyond what was contracted into the original Master Plan for Granite Dells Estates. Mr. Worley explained that this type of Amendment, expanding a Master Plan area, is not uncommon. Mr. Worley then presented existing and proposed Master Plan maps, highlighting that the proposed version will retain primary road connections and that a future connection to State Route 89A is planned.

Mr. Worley then presented a synopsis of the area's compliance with Airport Vicinity requirements. He stated that an Avigation Easement was requested and recorded over the proposed project area and that a FAA Height Evaluation (Form 7460) has been submitted for the initial infrastructure and grading. The developer will also provide a fair notice disclosure in all closing document packages for future buyers.

Commissioner Reilly asked for clarification on the portion of the Plat labeled 'Unsubdivided Tract' in the southeastern corner. Mr. Worley answered that it could be developed in the future, but that water availability is limited to the amount of lots shown in the proposed Master Plan and not beyond.

Commissioner Hutchison asked why Granite Dells Estates currently has a surplus of water. Mr. Worley answered that, when the original annexation of Granite Dells Estates occurred, there was a Water Service Agreement (WSA) established to allow development. The WSA allotted a specific amount of water in AF (acre- feet). The balance of which is sufficient, even with the 157 lots proposed.

Commissioner Goligoski asked whether Iron King Trail passes through the portion labeled 'Unsubdivided Tract'. Mr. Worley answered that it is below it (to the south) and that there have been serious efforts to maintain trail connectivity in this subdivision. Commissioner Goligoski also asked whether the proposed bridge to the west, connecting to the 89, was still in the works. Mr. Worley answered that it is, and that impact fees from the (new) developments it will connect to will help fund its construction.

Chairman Michelman asked about whether the portion of the Plat (in the northeast corner) that was originally zoned for more affordable housing would be retained. Mr. Worley explained that it is slated to be Single Family now but with smaller lot sizes.

Property owner Mike Fann answered that that corner was identified for workforce housing back in the late 2000s. He had discussions with the previous City Manager (Craig McConnell) on how to assure this and that it became complicated. He is still interested in providing this; however, it will not be affordable housing but rather workforce housing for first responders and blue-collar workers.

Duane Hunn, representative of developer Dorn Homes, clarified that the proposed area is within the parameters of the original Development Agreement. He also stated that Dorn Homes has worked hard to maintain adequate open space and trail connectivity.

Commissioner Hutchison also commented that he would like to see workforce housing incorporated in this development, which is vital to the sustainability of the City. Mr. Hunn answered that it is difficult to balance the need for affordable housing with individual property rights. He stated that Granite Dells Estates, in his opinion, is not the place to bring in low-cost

housing. Commissioner Hutchison added that affordable housing is defined as being 30% or less of one's monthly income, including utilities. Mr. Worley said that the 30% figure is a federal standard.

Mr. Fann echoed Mr. Hunn's sentiments, explaining that Granite Dells Estates is not the area to achieve workforce housing due to higher land costs. Mr. Fann also stated that the City doesn't have the framework set up in its code to support long term, affordable housing.

Commissioner Hutchinson asked when the developer anticipates breaking ground in this area. Mr. Hunn answered that it will likely happen in early 2023.

Commissioner Reilly answered whether the current Development Agreement (DA) requires the developer to provide workforce housing. Mr. Worley answered that it was removed from the DA approximately 10 years ago. Mr. Reilly also asked for clarification on what the 'amenity' in the northeast corner would be. Mr. Hunn answered that it would likely be a smaller clubhouse with a gym, courts and possibly a splash pad.

Mr. Michelman commented on the multiple, dead-end roads depicted and asked whether homes on those streets would be sprinklered. Mr. Hunn answered that they do not plan to automatically sprinkler them. Mr. Worley clarified that most of the areas do have emergency, secondary access points but that fire code will be followed strictly, and sprinklers will be installed if required.

Mr. Michelman asked what the developer is doing to enforce and accommodate airport requirements. Mr. Hunn explained that language referencing proximity to the airport and overflight is included in the CC&Rs and that all buyers must sign a disclosure in their closing paperwork.

Commissioner Goligoski asked what the area surrounding the Granite Dells Parkway roundabout/entrance is zoned. Mr. Worley answered that it is Business General, which allows commercial and residential. He also explained that it could accommodate a multifamily development. Commissioner Goligoski expressed a concern about the lack of commercial development in this area to support all the new housing. Mr. Worley explained that many commercial entities, especially grocery stores, wait for a specific number of houses to be built before bringing in their business(es).

Commissioner Gambogi stated that he is in overall support of the proposed project but is concerned about the implications that the future, Airport Overlay may have. Mr. Worley explained that the Airport Director, Dr. Robin Sobotta, has done a staff review of the proposed projects (MP22-001 and PLN22-001) and had no major corrections besides requiring the Avigation Easement and the 7460 Forms to be filed. Both requirements have since been addressed by the applicant.

**Commissioner Goligoski moved to approve MP22-001, seconded by Commissioner Reilly: Passed (4-2). Hutchison & Gambogi dissented. Hutchison dissented because of the deletion of the workforce housing element. Gambogi dissented because he would like a firmer position on the Airport Overlay before addressing housing developments.**

C. **PLN22-001:** Preliminary Plat of Granite Dells Estates, Units 6, 7, and 8; APN 103-04-009Z; Property Owner: Mike Fann; Applicant: Dorn Homes Inc.

The presentation and discussion for PLN22-001 was included in the previous item (MP22-001).

**Commissioner Goligoski moved to approve PLN22-001, seconded by Commissioner Reilly: Passed (4-2) Hutchison & Gambogi dissented with their reasons being the same as for item MP22-001.**

D. Discussion of Land Development Code amendments and potential of a joint meeting with Council.

Planning Manager George Worley explained that there will be a joint meeting with Council on July 19<sup>th</sup> at 1 pm concerning this item, which will take a close look at the implementation of the Airport Vicinity Overlay into the City's Land Development Code. Materials will be sent out the week prior and Commissioner and Councilmember review and input is highly encouraged.

Chairman Michelman asked for an update on the General Plan. Mr. Worley answered that Council is still open to applications for Committee members, Mayor Goode confirmed that the Committee will likely be confirmed at the last Council meeting in July. Chairman Michelman asked whether the Prescott North Area Plan would be incorporated into the General Plan. Mr. Worley explained that the North Area Plan has transitioned into more of a data report and that data will be incorporated into the General Plan.

Mr. Worley also reiterated that the REZ21-007 application that was slated on today's agenda was withdrawn and that the Rezone immediately to the south (REZ21-008) that was recommended by Planning & Zoning Commission was denied by the Council (6-1).

**4. UPDATE OF CURRENT EVENTS OR OTHER ITEMS OF NOTE**

None.

**5. ADJOURNMENT**

There being no further business to discuss, Chairman Michelman adjourned the meeting at 10:02 AM.

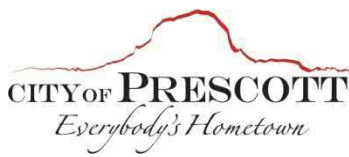
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Kaylee Nunez, Recording Secretary

ATTEST:

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Don Michelman, Chairman



# PLANNING & ZONING COMMISSION MEMO

**MEETING DATE:** July 14, 2022

**AGENDA ITEM:** CSP22-001, Proposed Comprehensive Sign Plan for Prescott Center of Fine Arts; 222 N Marina Street; Property Owner: Prescott Fine Arts Association; Applicant: Morgan Sign/ Sigtific LLC. APN 113-16-014.

**Approved By:**

**Date:**

<b>Director:</b>			
<b>Planning Manager:</b>	George Worley	GW	<b>07/06/2022</b>
<b>Community Planner:</b>	Tammy DeWitt	TD	<b>07/06/2022</b>

## Item Summary

This is a request to for a Comprehensive Sign Plan for The Prescott Center for Fine Arts, located at 222 N Marina Street. The plan would allow for the placement digital reader sign in front of the new building and document all existing signage.

## Background

The subject property is an approximate 0.86-acre site located on the northwest corner of E Willis Street and N Marina Street. The property is currently building a new performing arts theater and the proposed digital sign will be placed in front of the new building to advertise events for the property.

The proposed sign is a total of 40 sq. ft. and is viewable from the road. Per the Land Development Code, they are allowed a 24 sq. ft. monument sign, of which 50% can be the changeable copy. In the request, the proposed sign is 40 sq. ft. and the changeable copy will be 24 sq. ft. On the corner, the existing 32 square foot monument sign will be removed and there will only be one monument sign for the property.

In the request, the applicant has documented the existing signage on the property and what signs will be removed.

The sign is in the Downtown Business District which allows theatre marquee signs to use electronic changeable signs.

**AGENDA ITEM:** CSP22-001, Proposed Comprehensive Sign Plan for Prescott Center of Fine Arts; 222 N Marina Street; Property Owner: Prescott Fina Arts Association; Applicant: Morgan Sign/ Sigtific LLC. APN 113-16-014.

**Attachments**

1. Applicant letter
2. Vicinity aerial map
3. Site plan
4. Proposed sign

**Recommended Action:**

**MOVE** to recommend approval of CSP22-001, a Comprehensive Sign Plan for the Prescott Center of Fine Arts.



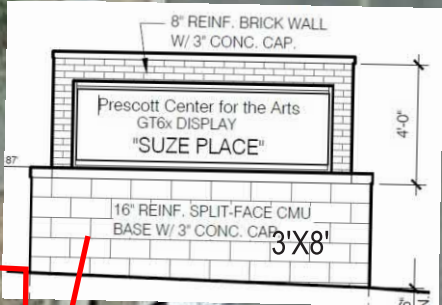
City of Prescott  
Community Development Dept.  
201 S. Cortez Street  
Prescott, AZ 86303

May 18, 2022

To Whom It May Concern:

Prescott Fine Arts Association is seeking a Comprehensive Sign Package for their property by adding an electronic message center display to the new Suzie's Studio Center being built at Marina Street. The new building frontage is 74 feet. The proposed EMC is a single sided cabinet placed parallel to the street for advertizing schedules of events and art shows at the multipurpose center. It is a high resolution full color display 24 square feet in area which meets current sign guidelines. Monument sign structure to be determined and provided by architect. The owner seeks no additional signage for the new building. The existing marquee at the corner of Marina and E. Wills streets will be removed. A spread sheet is provided with inventory of existing and proposed signage as part of this application.

Stephan Markov  
Morgan Sign Co.



SUZIE'S PLACE

Prescott Center for the Arts

PRESOTT CENTER FOR THE ARTS

11"X18"

74'

38'

48'

18" DIA

77"X57"

PRESOTT CENTER FOR THE ARTS  
THEATER

GALLERY

GIFT SHOP

72"X42"

83'

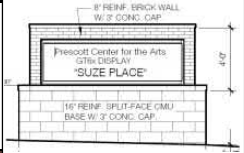










84"X84"

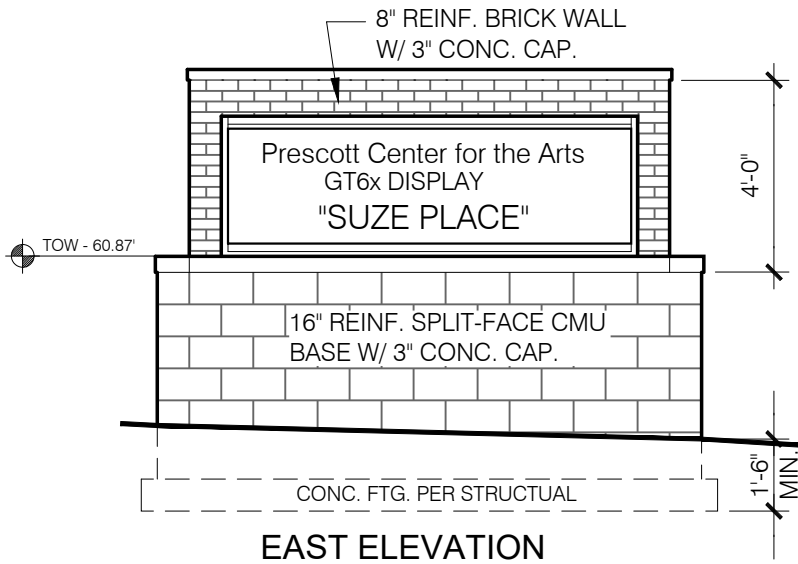
TO BE REMOVED

STREET FRONTAGE



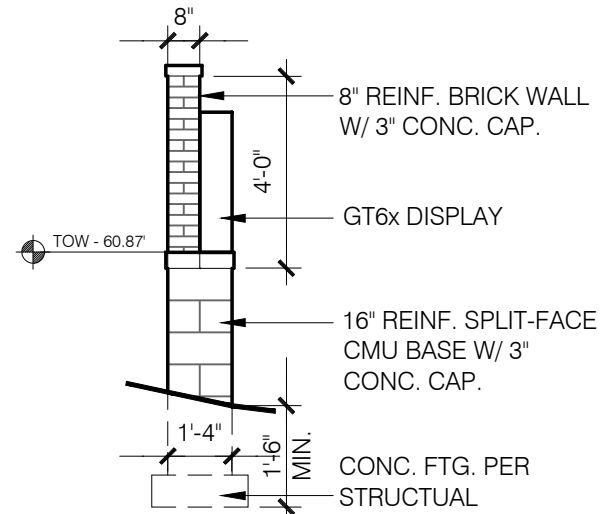
**Prescott Center for the Arts - 208 N. Marina St  
Existing Signage Inventory and Proposed New Signage**

Signs	Description	Measurements	Total Square Feet	Comment	Sign Photo	
1	EMC	36" x 96"	24			see attached
2	Prescott Center For the Arts	11" x 15 ft	13.75			to be removed
3	PCA Office	2 ft H x 4 ft W	8			Loacted over Office Entrance
4	Theater main entrance	odd shape	11	Rectangles around letters		Located over Mainstage Entrance
5	Attached Show Poster boxes (2)	16" W x 27"H		Not Counted		Mainstage Door
6	Corner Main Sign	4 ft H x 81"	32	Only one side counted		TO BE REMOVED
7	Gallery Awning End	38" H x 70" W	18.4			Over Gallery Entrance
8	Gallery Open and Hours	68" H x 30" W	14 ?			Remove
9	Prescott Fine Arts (old name)	10" H x 96" W	6.6	May be removed		Remove
10	Turret Stained Glass (3)	18" round	6	Only center logo counted		One of three
11	PCA LOGO	84" diameter		Not Counted		art mural
<b>TOTAL</b>			67.4			
<b>To Be Removed</b>	Shown in Red	#REF!				
<b>IMPLEMENTATION</b>						



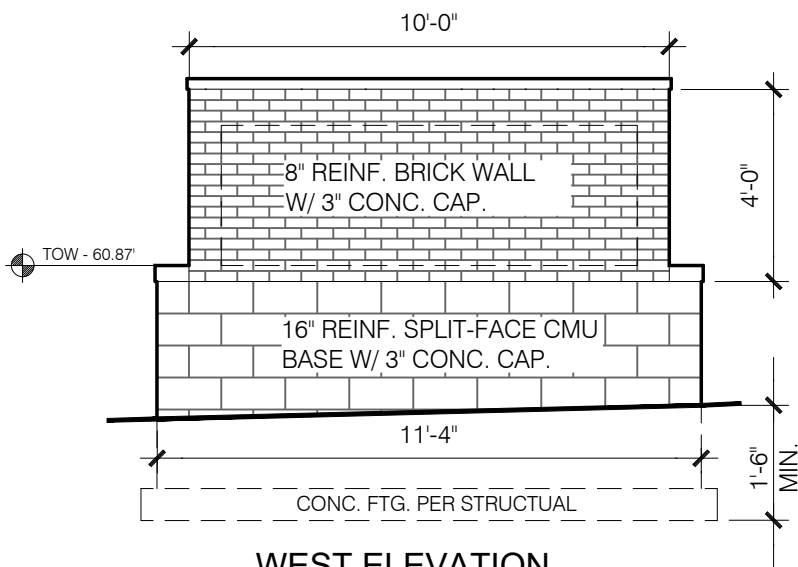
**EAST ELEVATION**

1/4" = 1'



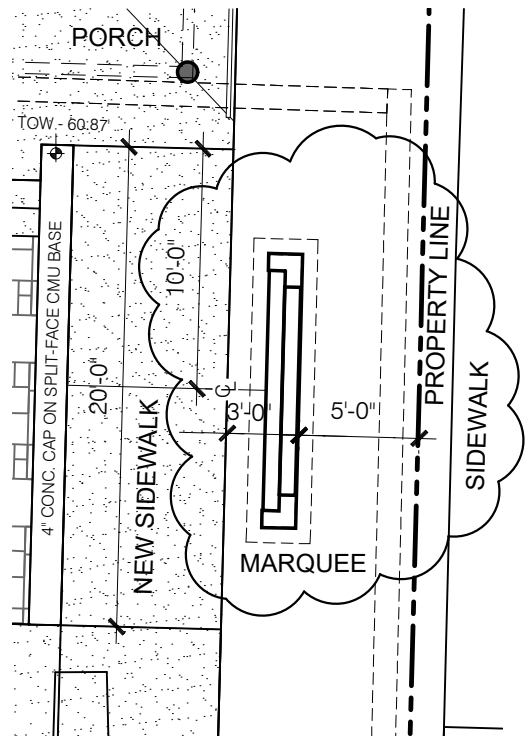
**SIDE ELEVATION**

1/4" = 1'



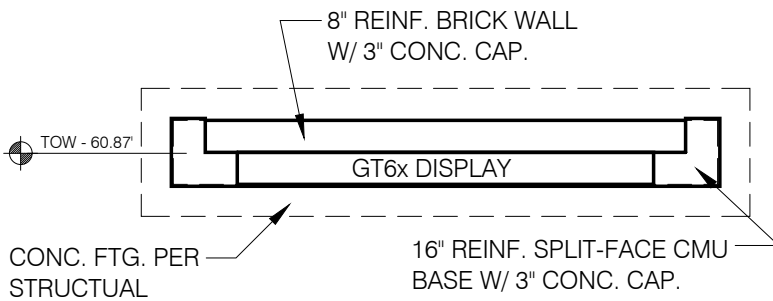
**WEST ELEVATION**

1/4" = 1'



**SITE PLAN**

1/8" = 1'



**PLAN**

1/4" = 1'

## MARQUEE PLANS

### PRESCOTT CENTER FOR THE ARTS

**OTWELL**  
ASSOCIATES  
ARCHITECTS

121 East Goodwin Street, Prescott, Arizona 86303 (928) 445-4951

MULTIPURPOSE FACILITY

DATE: 03-29-22

DWG BY: RWS

JOB NO.: 1707

REVISIONS:  
1 City Review  
06-22-22

DWG NO.

**SK-1**

1 OF 1



## PLANNING & ZONING COMMISSION MEMO

**MEETING DATE: July 14, 2022**

**AGENDA ITEM: SITE22-008:** Site Plan Review for an Exceptional Healthcare specialty hospital on approximately 8.65 acres. Zoning: BR (Business Regional); Property Owner: Exceptional Healthcare; Applicant: BMH As-built USA of Texas Inc.; Site APN: 103-15-160A; Location: 4822 E State Route 69.

**Approved By:**

**Date:**

Approved By:			Date:
<b>Director:</b>			
<b>Planning Manager:</b>	George Worley	GW	07/06/2022
<b>Community Planner:</b>	Tammy DeWitt	TD	07/06/2022

### Item Summary

The site is located at the northwest corner of E Robin Drive and State Route 69 and is zoned Business Regional (BR) which allows for the proposed specialty hospital. Exceptional Healthcare is proposing a 9-bed emergency room and a 9-bed inpatient hospital to provide specialty care and be open 24/7/365.

### Background

The property is currently vacant.

At the August 13, 2020, Planning and Zoning Commission meeting, a Site Plan Application was reviewed for a proposed mixed-use development consisting of assisted living, memory care, hotel, and offices. The Commission voted unanimously to recommend approval of the project as submitted, but permits were never submitted to build the project.

This is a new project by a different applicant.

**AGENDA ITEM: SITE22-008:** Site Plan Review to establish a 1 story specialty hospital on approximately 9.2 acres. Zoning: BR (Business Regional); Property Owner: Exceptional Healthcare; Applicant: Stroh Architects INC; Site APN: 103-15-160A; Location: 4822 E State Route 69.

**Site Plan Review Criteria**

Per Land Development Code (LDC) section 9.8.5/Site Plan Review Criteria, the following criteria are applicable to the proposed project.

**9.8.5.B. Building lot and setback requirements**

The proposed building, as shown on the site plan submitted, meets the setback requirements of 10-foot front and rear setbacks and 7 feet on the sides.

**9.8.5.F. Internal Circulation, public, private or emergency**

The proposed driveway that meets Code requirement of 20 feet in width and provides access through the site for all proposed uses.

**9.8.5.G. Landscaping, screening and buffering**

The proposed project has been designed to provide a buffer between the adjacent residential neighborhood and easy access off the highway. The property will be terraced and landscaped adjacent to the residential properties to provide a buffer between the uses.

**9.8.5.J. Outdoor lighting standards of Sec. 6.11**

Will require details at time of building permit application submittal and will need to meet all dark sky requirements.

**9.8.5.K. Parking and maneuvering areas**

The proposed project includes the parking required for the proposed hospital which requires 2 spaces per bed and 1 per 150 square feet for the outpatient portion.

**9.8.5.M. Public road or street access with proposed street grades**

Site access is proposed from E Robin Drive and State Route 69. The proposed right turn lane from State Route 69 will need to be approved by the City of Prescott and ADOT prior to any permits being issued on the property.

All other site design criteria appear to meet the Land Development Code requirements. The project is located within the Commercial Corridor Overlay per Section 5.3 of the LDC. This Overlay provides additional development criteria to promote quality commercial development that is compatible with surrounding natural areas and developed residential neighborhoods.

Residential Protection Standards (Section 6.13 of the LDC) apply to this project since it is a new nonresidential project adjacent to residential property. The applicant has provided an increased landscape buffer on the west side of the parcel that is adjacent to the residential area which meets the requirements.

**AGENDA ITEM: SITE22-008:** Site Plan Review to establish a 1 story specialty hospital on approximately 9.2 acres. Zoning: BR (Business Regional); Property Owner: Exceptional Healthcare; Applicant: Stroh Architects INC; Site APN: 103-15-160A; Location: 4822 E State Route 69.

**Attachments**

- 1. Narrative
- 2. Aerial Location Map
- 3. Zoning Map
- 4. Site Plan

**Recommended Action: MOVE** to recommend approval of Site Plan SITE22-008, Exceptional Healthcare Specialty Hospital per the site plan submitted.



Tammy DeWitt  
City of Prescott  
Community Development  
201 S. Cortez Street  
Prescott, AZ 86303

June 10, 2022

Exceptional Healthcare is proposing to build a nine-bed emergency room and a nine-bed inpatient hospital to provide specialty care to the citizens of Prescott, Arizona.

Regarding compatibility, the facility is zoned Business Regional (BR-PAD), and a specialty hospital is an allowed use under this designation.

Regarding an impact on emergency services, it will be a very positive impact. EHC will provide much needed additional emergency room facilities for the citizens of Prescott.

Access to the property will be from E. Robin Drive and State Route 69 at access points approved by the appropriate stakeholders.

The hospital will operate 24/7/365. Healthy and safety issues will be addressed in a manner that exceeds local, State and Federal standards.

The first submitted site plan is currently under review by City Staff. There have been no revisions since that submittal.

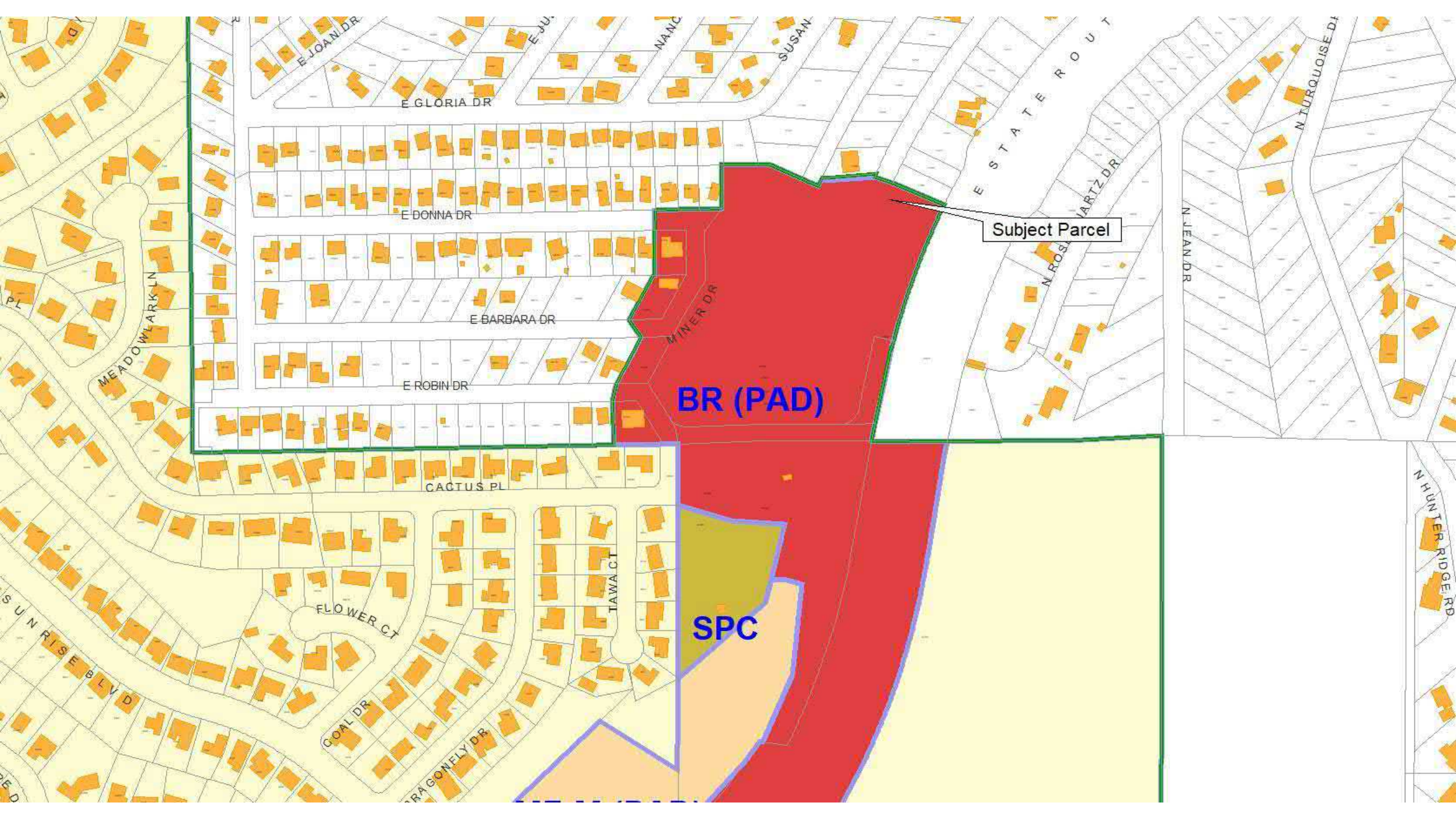
We look forward to providing quality care to the residents of the region.

A handwritten signature in black ink, appearing to read "R. Donaldson", with a long horizontal line extending to the right.

Robert Donaldson  
Director of Architecture  
BMH As-Built USA



Subject Parcel



Subject Parcel

BR (PAD)

SPC

E JOAN DR

E GLORIA DR

E DONNA DR

E BARBARA DR

E ROBIN DR

CACTUS PL

FLOWER CT

COAL DR

DRAGONFLY DR

TAWA CT

E STATE ROUT

N JEAN DR

N TURQUOISE DR

N HUNTER RIDGE RD

MEADOWLARK LN

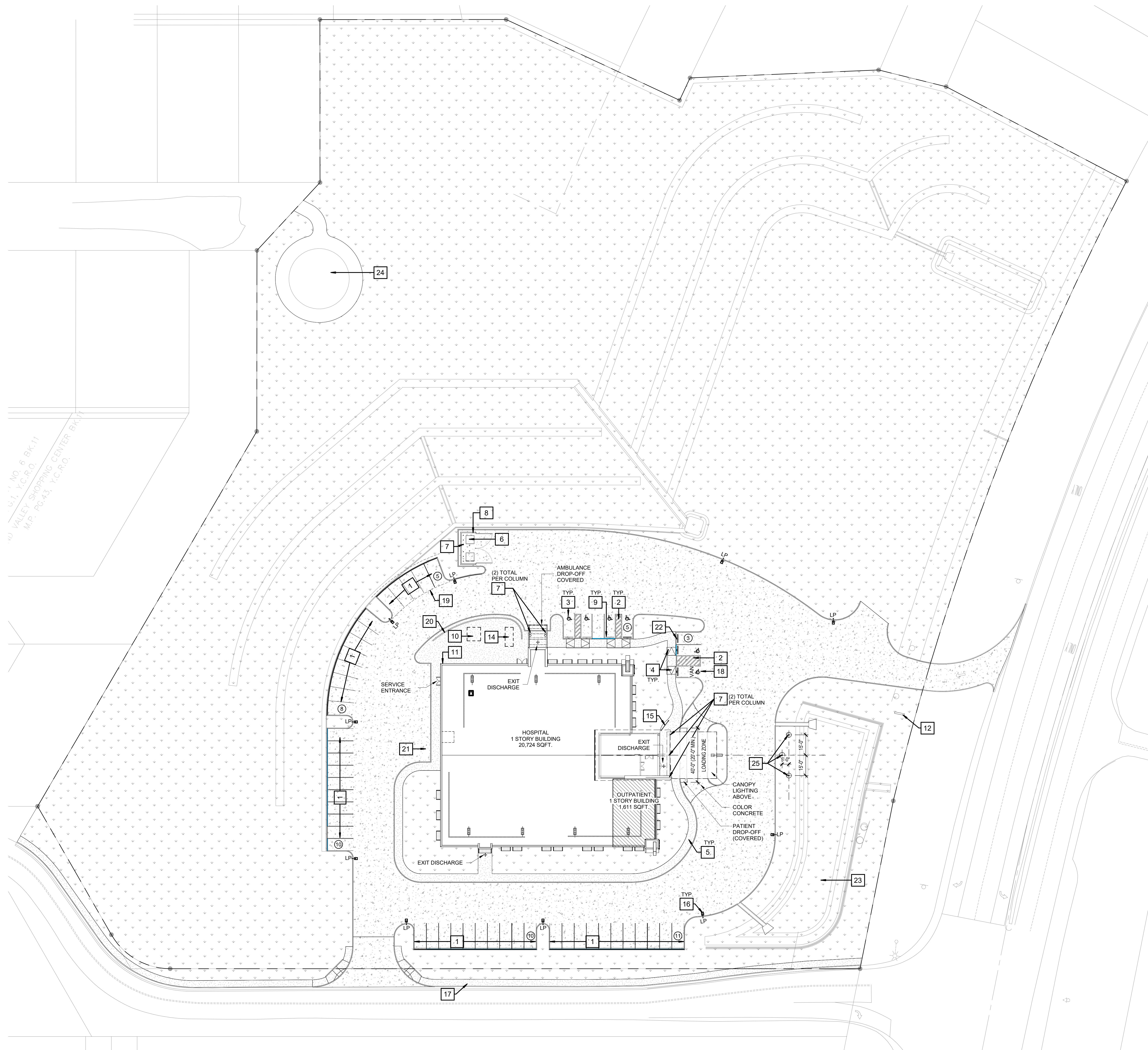
SUSAN

NANCY

E JUANITA DR

SUNRISE BLVD





- SITE PLAN KEYED NOTES BY SYMBOL** [XX]
1. PARKING STALL STRIPING
  2. PAINTED STRIPING @ CROSS WALK, ACCESSIBLE AISLES
  3. PAINTED ACCESSIBLE PARKING STALL SYMBOL
  4. ACCESSIBLE CURB RAMP; COORDINATE WIDTH WITH CURB RETURNS.
  5. CONCRETE SIDEWALK/FLATWORK; RE: CIVIL. SOIL CONDITIONING FOR BUILDING SLAB SHALL BE EXTENDED OUT TO INCLUDE AREAS BELOW ALL SIDEWALK/FLATWORK DIRECTLY ADJACENT.
  6. 8 YARD DUMPSTER
  7. BOLLARDS; 6" STEEL PIPE X 48" HIGH, GROUT FILLED.
  8. 8' HIGH CMU WALL W/ SOLID GATES. REFER TO SHEET AS1.2 SITE DETAILS FOR MORE INFORMATION.
  9. WHEEL STOP
  10. TRANSFORMER & CONCRETE PAD. RE: MEP.
  11. FIRE DEPARTMENT CONNECTION. REFER TO CIVIL/MEP
  12. MONUMENT SIGN
  13. FIRE HYDRANT RE:CIVIL
  14. GENERATOR, CONCRETE PAD RE:MEP
  15. BICYCLE RACKS PER CITY REQUIREMENTS
  16. EXTERIOR SITE LIGHTING RE:MEP
  17. CONCRETE SIDEWALK (OUTSIDE OF PROPERTY LINE)
  18. VAN ACCESSIBLE PARKING SPACE
  19. COVERED PARKING SPACES FULL CANTILEVER SUPPORTS REFERENCE SPECIFICATION
  20. 8' HIGH CMU WALL REFER TO SHEET AS1.2 FOR SIMILAR DETAILS.
  21. CART WASHING AREA
  22. ACCESSIBLE PARKING SIGN
  23. RETENTION POND - RE: CIVIL
  24. FIRE STORAGE TANK
  25. FLAG POLE LOCATION

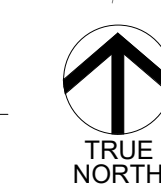
- SITE PLAN GENERAL NOTES**
1. DO NOT SCALE DRAWINGS.
  2. REFER CIVIL ENGINEERING DOCUMENTS FOR ADDITIONAL INFORMATION AND DIMENSION CONTROL.
  3. CONFIRM LOCATIONS, QUANTITIES, AND COMPLETENESS OF SITE UTILITIES INSTALLED BY OTHERS.
  4. IN NO INSTANCE SHALL PAVING OR FLATWORK DIRECTLY ADJACENT TO THE BUILDING BE HIGHER IN ELEVATION THAN FINISH FLOOR, OR OTHERWISE SLOPE (DRAIN) TO THE BUILDING.
  5. IN NO INSTANCE SHALL THE ACCESSIBLE PARKING STALLS, ACCESS AISLES, OR ACCESS ROUTES EXCEED A MAXIMUM SLOPE OF 2% IN ANY DIRECTION, UNLESS NOTED OTHERWISE.
  6. PROVIDE FIRE LANE STRIPING AS REQUIRED BY THE FIRE MARSHALL OR LOCAL FIRE AUTHORITY HAVING JURISDICTION.
  7. SPACE SIDEWALK/FLATWORK CONTROL JOINTS @ 5'-0" O.C., TYPICAL (U.N.O.) AND EXPANSION JOINTS @ 20'-0" O.C. MAXIMUM (U.N.O.)
  8. REFER TO GEOTECHNICAL REPORTS IN CONJUNCTION WITH PROVIDING ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TO COMPLETE ALL EARTHWORK, EXCAVATION, COMPACTION, IMPORTATION OF FILL OR REMOVAL OF EXISTING MATERIALS AS REQUIRED FOR ALL BUILDING AND SITE CONSTRUCTION AS PART OF THE SCOPE OF THIS WORK.
  9. TYPICAL PARKING AREA PAINTED STRIPING SHALL BE 4" WIDE STRIPING PAINTED WITH TWO (2) COATS TRAFFIC WHITE, WITH 7 MIL DRY FILM THICKNESS PER COAT.
  10. REFER LANDSCAPING AND IRRIGATION PLANS FOR PLANTING AND IRRIGATION WORK SCOPE. COORDINATE LOCATION OF IRRIGATION METER WITH CIVIL. CONFIRM LOCATION OF IRRIGATION CONTROLLER WITH OWNER PRIOR TO ROUGH-IN.
  11. CONFIRM LOCATIONS, QUANTITIES, AND COMPLETENESS OF SITE UTILITIES PRIOR TO BEGINNING SERVICE CONNECTIONS TO THE BUILDING. GENERAL CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS AT THE BUILDING WITH CIVIL DRAWINGS AND LOCAL UTILITY COMPANIES.
  12. THE GENERAL CONTRACTOR SHALL PROTECT ALL COMPLETED SITE WORK IMPROVEMENTS DURING BUILDING CONSTRUCTION.
  13. PRIOR TO SUBMITTING BID, THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND INCLUDE IN BID ANY PROVISIONS FOR SITE CONDITIONS THAT CAN BE REASONABLY INFERRED TO IMPACT BUILDING CONSTRUCTION.
  14. UNLESS SPECIFIED BY CIVIL/ STRUCTURAL ENGINEER, THE BASIS OF DESIGN FOR SIDEWALKS AND FLATWORK IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE 4" THICK 3000 PSI CONCRETE WITH #3 BARS PLACED 18" O.C. W. ON 6" OF CRUSHED AGGREGATE BASE. CONCRETE SIDEWALKS AND FLATWORK SHALL HAVE A STANDARD BROOM FINISH. REFER CIVIL FOR ALL PAVING DESIGN/DETAILS.
  15. IN THE EVENT THE BUILDING CONTRACTOR IS DIFFERENT THAN THE SITE CONTRACTOR, THE BUILDING CONTRACTOR SHALL VERIFY THAT BUILDING PAD CONSTRUCTION IS COMPLETE, AND OBTAIN A COPY OF THE PAD CERTIFICATE PRIOR TO START OF BUILDING CONSTRUCTION. FORWARD COPY OF THE BUILDING PAD CERTIFICATE TO THE OWNER AND ARCHITECT.

**SITE TABULATION**

SITE AREA:	8.65 AC
BUILDING AREA:	20,724 SF
PARKING REQUIRED: (2/BED)	36
OUTPATIENT 1/150 SF:	11
TOTAL PARKING REQUIRED:	47
PARKING PROVIDED:	52
ACCESSIBLE PARKING: (10%)	6
ACC. PARKING PROVIDED:	6
BICYCLES SPACES: (1 PER 10 SPACES FOR FIRST 50) (1 PER 20 FOR REMAINING)	6
BICYCLE SPACES PROVIDED:	11

**NOTE:**  
SURVEYOR RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS

**1 SITE PLAN**  
1" = 30'-0"



PROJECT # 2022-04

**SAEED MAHBOUBI ARCHITECTURE**  
SAEED MAHBOUBI AIA  
3514 CEDAR SPRINGS ROAD DALLAS, TEXAS 75219 | PHONE: 469-607-0006

02/07/2022

PRECSCOTT, AZ. 86303

A NEW PROJECT FOR  
**EXCEPTIONAL HEALTHCARE**  
**Hospital - Prescott, Arizona**

4822 E. STATE ROUTE 69

DRAWING ISSUES:  
ISSUE FOR PERMIT 02/07/2022

JOB NO: 2022-04

ARCHITECTURAL SITE PLAN

**AS1.1**

©10/2022 3:35:25 PM



## PLANNING & ZONING COMMISSION MEMO

**MEETING DATE: July 14, 2022**

**AGENDA ITEM: SITE22-009:** Site Plan Review to establish a new 3,842 square foot medical building on approximately 2.01 acres. Zoning: IL (Industrial Light); Property Owner: Healing Holdings LLC; Applicant: Michael Taylor Architects INC; Site APN: 102-06-207U Location: 2121 Assurance Way.

**Approved By:**

**Date:**

<b>Director:</b>			
<b>Planning Manager:</b>	George Worley	GW	07/06/2022
<b>Community Planner:</b>	Tammy DeWitt	TD	07/06/2022

### Item Summary

The site is located at the southeast corner of Assurance Way and Distinction Way and is a total of approximately 2.01 acres. Per the narrative provided by the applicant, the intent is to build a new 3,843 square foot medical facility with 5 patient rooms.

### Background

The property is currently vacant.

### Site Plan Review Criteria

Per Land Development Code (LDC) section 9.8.5/Site Plan Review Criteria, the following criteria are applicable to the proposed project.

#### **9.8.5.B. Building lot and setback requirements**

The proposed building, as shown on the site plan submitted, meets the setback requirements of 10 feet front and rear setbacks, 10 feet on the corner side and 7 feet on the interior side.

#### **9.8.5.F. Internal Circulation, public, private or emergency**

The proposed driveway that meets Code requirement of 24 feet in width and provides adequate access through the site.

**AGENDA ITEM: SIT22-009:** Site Plan Review to establish a new 3,842 square foot medical building on approximately 2.01 acres. Zoning: IL (Industrial Light); Property Owner: Healing Holdings LLC; Applicant: Michael Taylor Architects INC; Site APN: 102-06-207U Location: 2121 Assurance Way.

**9.8.5.G. Landscaping, screening and buffering**

The property is in an Industrial area and minimal landscaping is required. No landscaping is required in the parking area. Along the frontage, the applicant shows a 20-foot-wide landscape, drainage and slop easement which meets the landscaping requirements. The proposed Landscape Plan is provided.

**9.8.5.J. Outdoor lighting standards of Sec. 6.11**

Will require details at time of building permit application submittal and will need to meet all dark sky requirements.

**9.8.5.K. Parking and maneuvering areas**

The proposed project includes the parking required for the proposed medical office which requires 1 per 150 square feet. For the proposed 3,483 square foot building, 24 parking spaces are required and provided on the site plan.

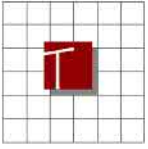
**9.8.5.M. Public road or street access with proposed street grades**

Site access is proposed from Distinction Way and there are no other requirements.

**Attachments**

1. Narrative
2. Aerial Location Map
3. Zoning Map
4. Site Plans

<p><b>Recommended Action: MOVE</b> to recommend approval of Site Plan SITE22-009, 2121 Assurance Way Medical Building per Site Plan provided.</p>
---



Michael Taylor Architects, Inc.

June 21, 2022

City of Prescott  
Community Development Department  
201 South Cortez Street  
Prescott, Arizona 86302

RE: 2121 Assurance Way  
A.P.N. 102-06-207U

**PROJECT NARRATIVE**

Project will build a new 3,843 sf medical facility on new combined parcel with new parking lot and landscaped area. There will be 24 parking spaces and 5 patient rooms.

Respectfully submitted,

Johnny Stewart, Associate  
Michael Taylor Architects, Inc.



Subject Parcel

E STATE ROUTE 89

ASSURANCE WAY

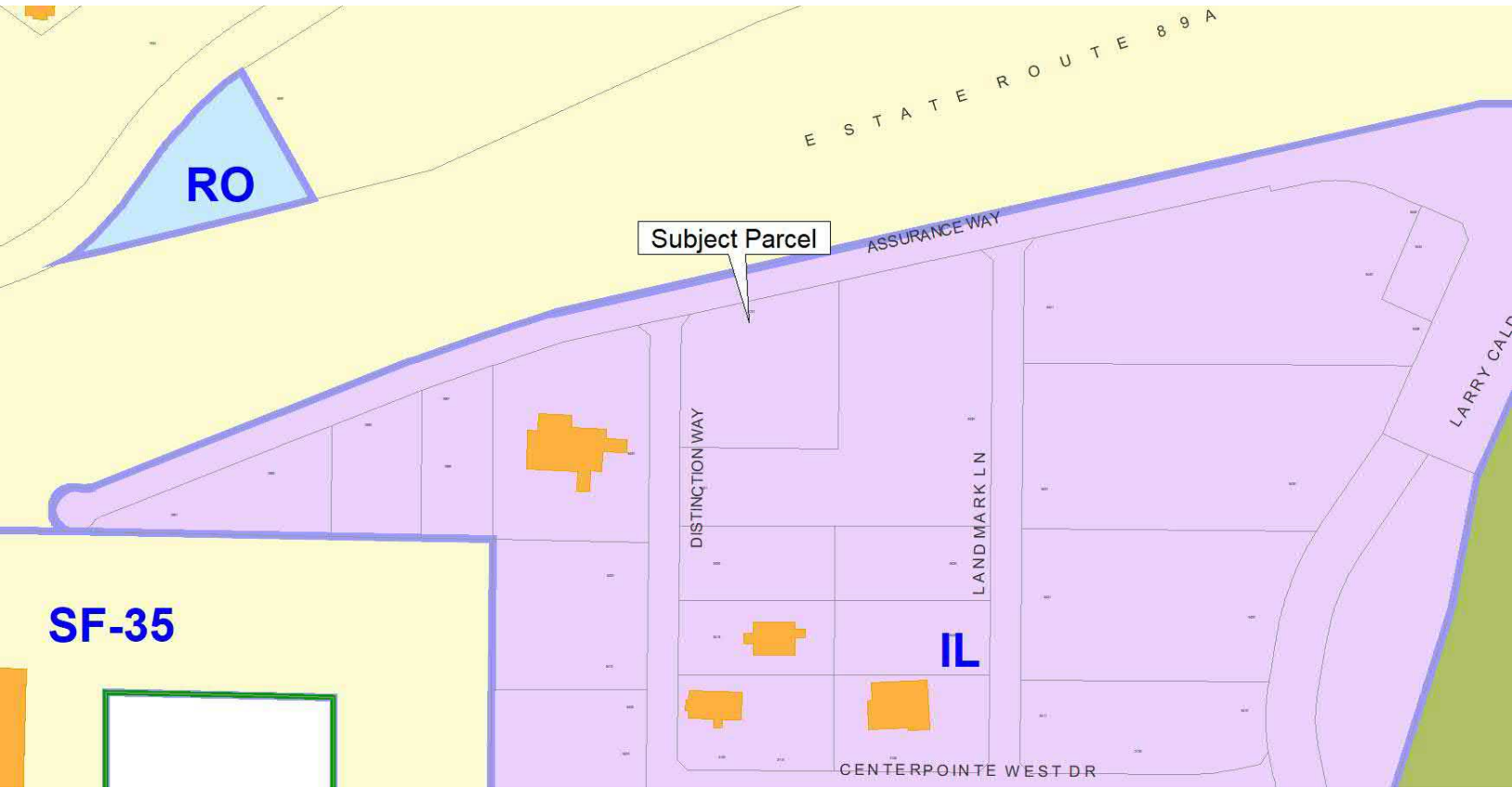
DISTINCT ONWAY

LANDMARK LN

CENTERPOINTE WEST DR

LARRY CALDWELL DR

CITY OF  
LANDMARK



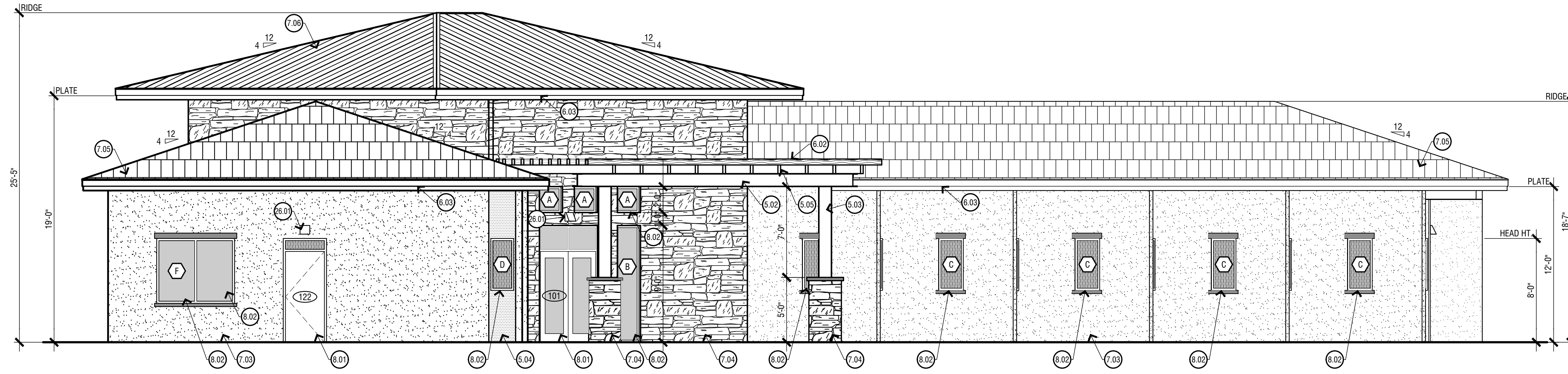






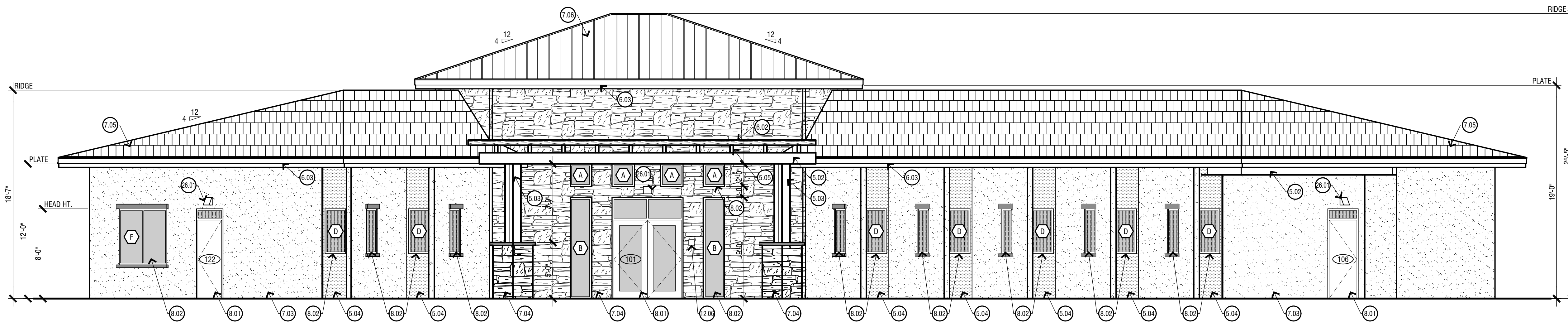
THE CONSTRUCTION DOCUMENT SET FOR THIS PROJECT SHALL INCLUDE THIS DRAWING SHEET & ALL OTHER SHEETS & ASSOCIATED DOCUMENTS LISTED ON THE DRAWING INDEX ON COVER SHEET & ANY OTHER DOCUMENTATION AS SUPPLIED BY THE ARCHITECT & CONSULTING ENGINEERS. ALL OF THE PROJECT DOCUMENTS REPRESENT AN ALL ENCOMPASSING WHOLE & SHALL BE USED IN THEIR ENTIRETY FOR BIDDING & CONSTRUCTION PURPOSES.

2 EXTERIOR ELEVATION



SCALE: 3/16" = 1'-0"

1 EXTERIOR ELEVATION



SCALE: 3/16" = 1'-0"

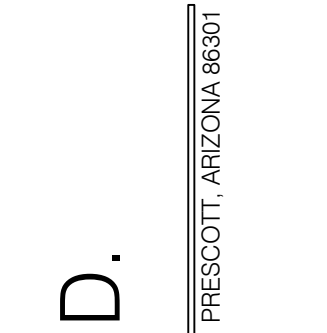
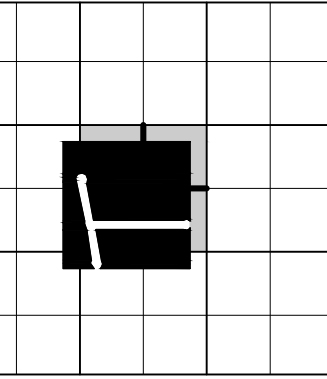
- CONCRETE
- 3.00 4" CONCRETE SLAB O/ VAPOR BARRIER AND 4" A.B.C., SEE STRUCTURAL
- 3.01 CONCRETE FOOTING, SEE STRUCTURAL
- 3.02 4" CONCRETE SIDEWALK O/ 4" A.B.C.
- METALS
- 5.00 20 GAUGE 4" METAL STUD 16" O.C., SEE SCHEDULE ON SHEET A-501
- 5.01 20 GAUGE 6" METAL STUD 16" O.C., SEE SCHEDULE ON SHEET A-501
- 5.02 STEEL BEAM, NATURAL FINISH, SEE STRUCTURAL
- 5.03 STEEL COLUMN, NATURAL FINISH, SEE STRUCTURAL
- 5.04 CORTEN STEEL PANELS, NATURAL FINISH
- 5.05 6x8 TUBE STEEL, NATURAL FINISH, SEE STRUCTURAL
- WOOD, PLASTICS, COMPOSITES
- 6.00 1x6 TONGUE AND GROOVE, FINISH TBD
- 6.01 PRE-FABRICATED WOOD TRUSS
- 6.02 6x6 WOOD TRELLIS, 12" O.C.
- 6.03 2x6 OVER 2x10 DOUBLE STACKED FASCIA;  
COLOR 'SHERWIN WILLIAMS SW7040 SMOKE HOUSE'
- THERMAL AND MOISTURE PROTECTION
- 7.00 R-13.1 2" RIGID INSULATION
- 7.01 R-21 SPRAY FOAM INSULATION
- 7.02 R-38 SPRAY FOAM INSULATION
- 7.03 2 COAT STUCCO, SAND FINISH, SQUARE CORNERS;  
COLOR 'SHERWIN WILLIAMS SW6150 UNIVERSAL KHAKI'
- 7.04 CREATIVE MINES 'CRAFT PEAK LEDGE STONE, TORTOISESHELL
- 7.05 EAGLE ROOFING 'PONDEROSA #5502 ARCADIA CANYON BROWN' O/ ICE & WATER SHIELD
- 7.06 CMG METALS 'ULTRA-FLANGE PANEL BURNISHED SLATE' O/ ICE & WATER SHIELD
- OPENINGS
- 8.00 SOLID CORE DOOR IN ALUMINUM FRAME, SEE SCHEDULE
- 8.01 ALUMINUM DOOR IN ALUMINUM FRAME, SEE SCHEDULE
- 8.02 MILGARD 'THERMALLY IMPROVED ALUMINUM WINDOW', SEE SCHEDULE
- 8.03 MIRROR AS SELECTED BY OWNER, INSTALL PER ADA GUIDELINES
- FINISHES
- 9.00 5/8" GYPSUM BOARD SHEATHING, SEE FINISH SCHEDULE
- 9.01 OPTIMA 3900 2x2 ACOUSTIC CEILING PANEL WITH 1/4" REVEAL
- 9.02 CERAMIC WALL TILE, COLOR/TYPE TBD
- FURNISHINGS
- 12.00 LAMINATE CASEWORK, COLOR TBD
- 12.01 SOLID SURFACE COUNTERTOP, COLOR TBD
- 12.02 RAKKS SURFACE MOUNT COUNTER SUPPORT BRACKET
- 12.03 OWNER PROVIDED EQUIPMENT, INSTALLED BY CONTRACTOR
- 12.04 TACTILE SIGN, SEE 'EXITING PLAN LEGEND' ON SHEET CS101
- 12.05 FIRE EXTINGUISHER 2A-10B-C MINIMUM ON WALL BRACKET OR IN CABINET AS SHOWN
- 12.06 KNOX BOX FOR EMERGENCY RESPONDER KEYS - LOCATE PER FIRE DEPARTMENT
- PLUMBING
- 22.00 PLUMBING FIXTURE, SEE PLUMBING
- HEATING, VENTILATING, AND AIR CONDITIONING
- 23.00 MECHANICAL UNIT, SEE MECHANICAL
- 23.01 RETURN/SUPPLY REGISTER, SEE MECHANICAL
- ELECTRICAL
- 26.00 ELECTRICAL PANEL, SEE ELECTRICAL
- 26.01 ELECTRICAL FIXTURE, SEE ELECTRICAL
- 26.02 COMMUNICATIONS BOARD, SEE ELECTRICAL
- WALL TYPES, SEE SHEET A-501

KEYNOTES



MICHAEL TAYLOR  
ARCHITECTS, INC.

118 SOUTH PLEASANT STREET  
PRESCOTT, ARIZONA 86301  
PHONE 928.445.9208  
WWW.MTAI.NET  
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A NEW MEDICAL FACILITY FOR

DR. JOHN FUHRMAN, M.D.

PRESCOTT, ARIZONA 86301

CENTERPOINT WEST COMMERCE PARK  
6500 WEST WILSON AVENUE  
SUITE 1150 (PHASE 2)  
INDUSTRIAL LIGHT INDUSTRIAL ZONING

MTAI PROJECT NUMBER: 20060 N  
DATE: 06/24/22

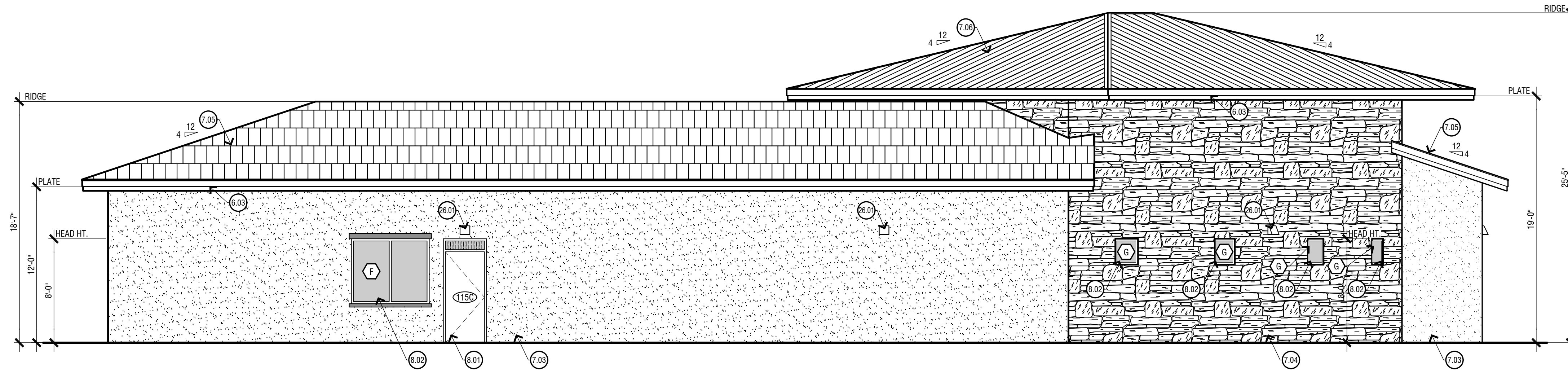
DESCRIPTION:

EXTERIOR ELEVATIONS

A-201

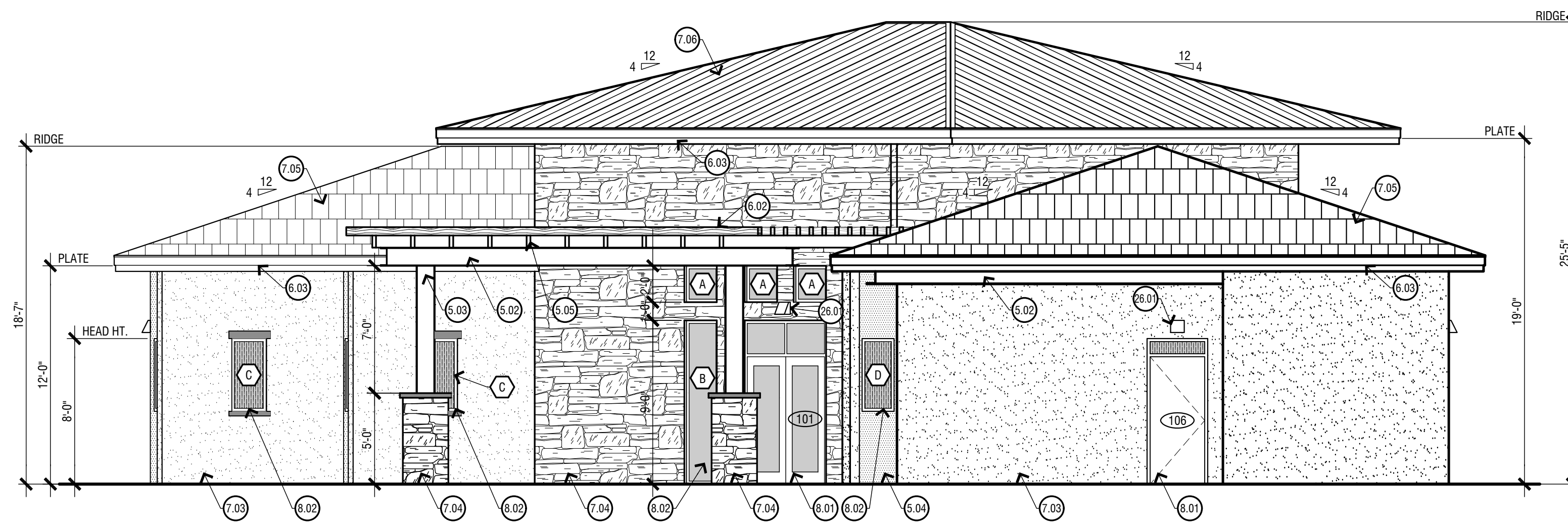
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4 EXTERIOR ELEVATION



SCALE: 3/16" = 1'-0"

3 EXTERIOR ELEVATION



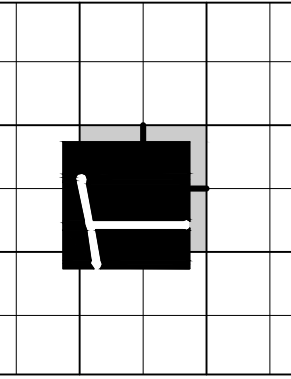
SCALE: 3/16" = 1'-0"

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  - 7.05 EAGLE ROOFING PONDEROSA #5502 ARCADIA CANYON BROWN O/ ICE & WATER SHIELD
  - 7.06 CMG METALS ULTRA-FLANGE PANEL BURNISHED SLATE O/ ICE & WATER SHIELD
- OPENINGS**
- 8.00 SOLID CORE DOOR IN ALUMINUM FRAME, SEE SCHEDULE
  - 8.01 ALUMINUM DOOR IN ALUMINUM FRAME, SEE SCHEDULE
  - 8.02 MILGARD THERMALLY IMPROVED ALUMINUM WINDOW, SEE SCHEDULE
  - 8.03 MIRROR AS SELECTED BY OWNER, INSTALL PER ADA GUIDELINES
- FINISHES**
- 9.00 5/8" GYPSUM BOARD SHEATHING, SEE FINISH SCHEDULE
  - 9.01 OPTIMA 3900 2x2 ACOUSTIC CEILING PANEL WITH 1/4" REVEAL
  - 9.02 CERAMIC WALL TILE, COLOR/TYPE TBD
- FURNISHINGS**
- 12.00 LAMINATE CASEWORK, COLOR TBD
  - 12.01 SOLID SURFACE COUNTERTOP, COLOR TBD
  - 12.02 RAKKS SURFACE MOUNT COUNTER SUPPORT BRACKET
  - 12.03 OWNER PROVIDED EQUIPMENT, INSTALLED BY CONTRACTOR
  - 12.04 TACTILE SIGN, SEE 'EXITING PLAN LEGEND' ON SHEET CS101
  - 12.05 FIRE EXTINGUISHER 2A-10B-C MINIMUM ON WALL BRACKET OR IN CABINET AS SHOWN
  - 12.06 KNOX BOX FOR EMERGENCY RESPONDER KEYS - LOCATE PER FIRE DEPARTMENT
- PLUMBING**
- 22.00 PLUMBING FIXTURE, SEE PLUMBING
- HEATING, VENTILATING, AND AIR CONDITIONING**
- 23.00 MECHANICAL UNIT, SEE MECHANICAL
  - 23.01 RETURN/SUPPLY REGISTER, SEE MECHANICAL
- ELECTRICAL**
- 25.00 ELECTRICAL PANEL, SEE ELECTRICAL
  - 25.01 ELECTRICAL FIXTURE, SEE ELECTRICAL
  - 25.02 COMMUNICATIONS BOARD, SEE ELECTRICAL
- WALL TYPES, SEE SHEET A-501

KEYNOTES

MICHAEL TAYLOR  
ARCHITECTS, INC.

24683  
MICHAEL G.  
TAYLOR  
5-24-22  
REGISTERED ARCHITECT  
ARIZONA  
18 SOUTH PLEASANT STREET  
PRESCOTT, ARIZONA 86301  
PHONE 928.445.9826  
WWW.MTAI.NET  
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DR. JOHN FUHRMAN, M.D.

A NEW MEDICAL FACILITY FOR  
PRESOTT, ARIZONA 86301  
CENTERPOINTE WEST COMMERCE PARK  
1537 DISTINCTION WAY  
SUITE 115A (PHASE 2)  
5881 HILARDAWAY  
INDUSTRIAL LIGHT RAIL ZONING

MTAI PROJECT NUMBER: 20060 PLOT DATE: 06.24.22

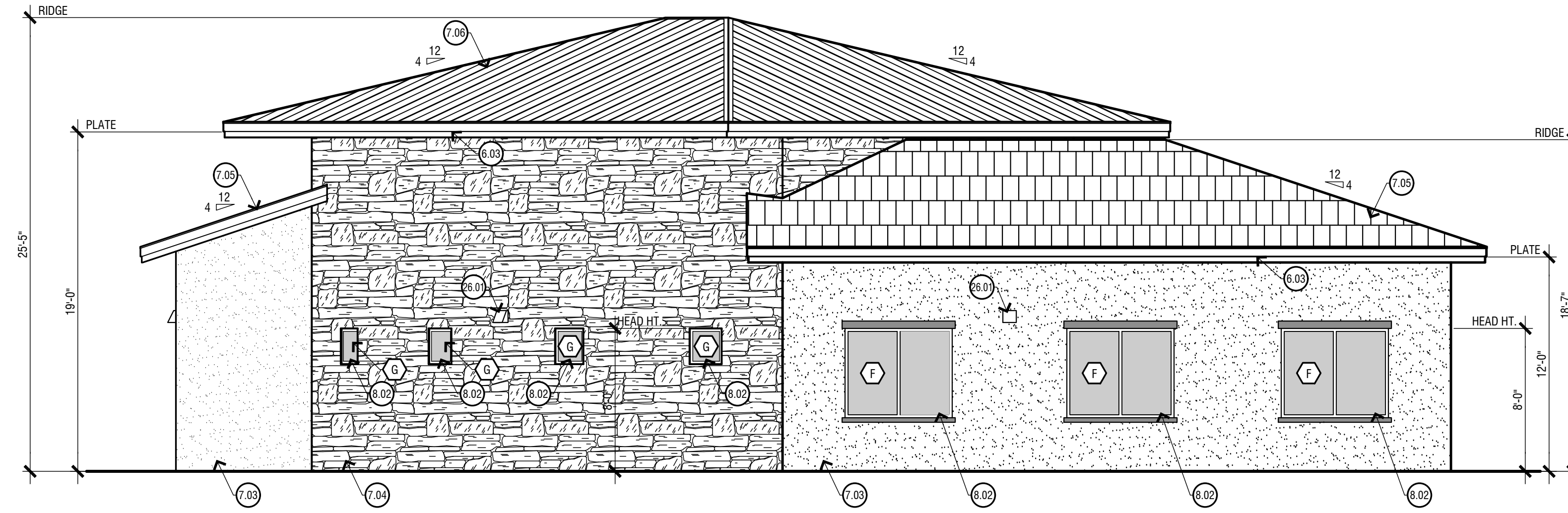
DATE: DESCRIPTION:

EXTERIOR  
ELEVATIONS

A-202

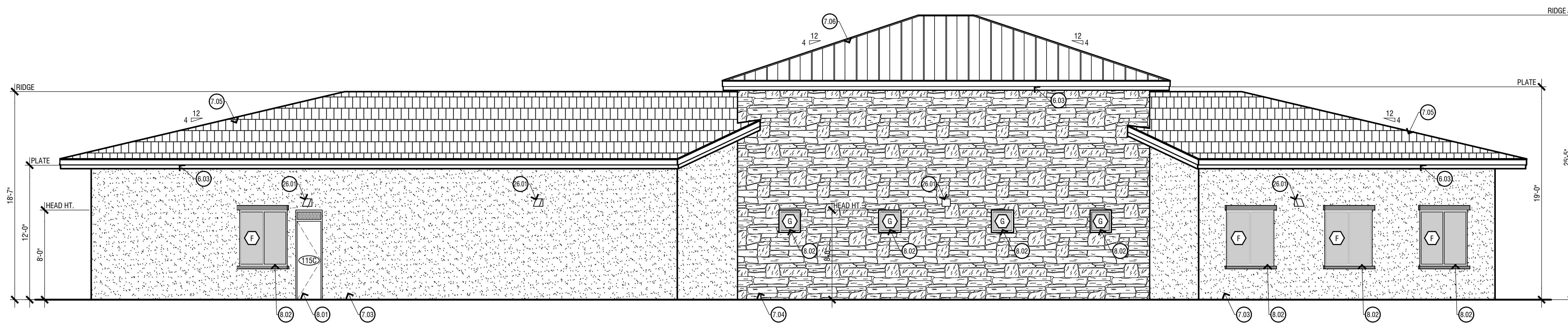
THE CONSTRUCTION DOCUMENT SET FOR THIS PROJECT SHALL INCLUDE THIS DRAWING SHEET, & ALL OTHER SHEETS & ASSOCIATED DOCUMENTS LISTED ON THE DRAWING INDEX ON COVER SHEET, & ANY OTHER DOCUMENTATION AS SUPPLIED BY THE ARCHITECT & CONSULTING ENGINEERS. ALL OF THE PROJECT DOCUMENTS REPRESENT AN ALL ENCOMPASSING WHOLE, & SHALL BE USED IN THEIR ENTIRETY FOR BIDDING & CONSTRUCTION PURPOSES.

6 EXTERIOR ELEVATION



SCALE: 3/16" = 1'-0"

5 EXTERIOR ELEVATION



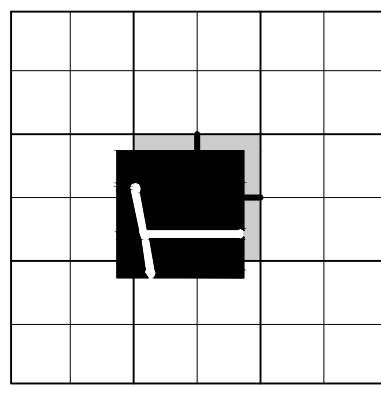
SCALE: 3/16" = 1'-0"

- CONCRETE
- 3.00 4" CONCRETE SLAB O/ VAPOR BARRIER AND 4" A.B.C., SEE STRUCTURAL
- 5.01 CONCRETE FOOTING, SEE STRUCTURAL
- 3.02 4" CONCRETE SIDEWALK O/ 4" A.B.C.
- METALS
- 5.00 20 GAUGE 4" METAL STUD 16" O.C., SEE SCHEDULE ON SHEET A-501
- 5.01 20 GAUGE 6" METAL STUD 16" O.C., SEE SCHEDULE ON SHEET A-501
- 5.02 STEEL BEAM, NATURAL FINISH, SEE STRUCTURAL
- 5.03 STEEL COLUMN, NATURAL FINISH, SEE STRUCTURAL
- 5.04 CORTEN STEEL PANELS, NATURAL FINISH
- 5.05 6x8 TUBE STEEL, NATURAL FINISH, SEE STRUCTURAL
- WOOD, PLASTICS, COMPOSITES
- 6.00 1x6 TONGUE AND GROOVE, FINISH TBD
- 6.01 PRE-FABRICATED WOOD TRUSS
- 6.02 6x6 WOOD TRELLIS, 12' O.C.
- 6.03 2x6 OVER 2x10 DOUBLE STACKED FASCIA;  
COLOR SHERWIN WILLIAMS SW7040 SMOKE HOUSE
- THERMAL AND MOISTURE PROTECTION
- 7.00 R-13.1 2" RIGID INSULATION
- 7.01 R-21 SPRAY FOAM INSULATION
- 7.02 R-38 SPRAY FOAM INSULATION
- 7.03 2 COAT STUCCO, SAND FINISH, SQUARE CORNERS;  
COLOR SHERWIN WILLIAMS SW6150 UNIVERSAL KHAKI
- 7.04 CREATIVE MINES CRAFT PEAK LEDGE STONE, TORTOISESHELL
- 7.05 EAGLE ROOFING PONDEROSA #5502 ARCADIA CANYON BROWN O/ ICE & WATER SHIELD
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KEYNOTES



**MICHAEL TAYLOR ARCHITECTS, INC.**  
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A NEW MEDICAL FACILITY FOR

**DR. JOHN FUHRMAN, M.D.**  
 CENTERPOINTE WEST COMMERCE PARK  
 658 FISHERWAY  
 85815-1820  
 INDUSTRIAL LIGHT RAIL ZONING

2121 ASSURANCE WAY  
 1537 DISTINCTION WAY

MTAI PROJECT NUMBER	20060	PLOT DATE	06.24.22
DATE	DESCRIPTION		

EXTERIOR ELEVATIONS  
**A-203**



## PLANNING & ZONING COMMISSION MEMO

**MEETING DATE: July 14, 2022**

**AGENDA ITEM: SITE22-010:** Site Plan Review to establish a new 10-unit village using Airstream trailers for short term rentals on approximately 0.97 acres. Zoning: BR (Business Regional); Property Owner: Loma Buena LLC; Applicant: Kimley Horn and Associates Inc.; Site APN: 109-03-100 Location: 310 S Montezuma Street.

Approved By:			Date:
<b>Director:</b>			
<b>Planning Manager:</b>	George Worley	GW	07/06/2022
<b>Community Planner:</b>	Tammy DeWitt	TD	07/06/2022

### Item Summary

The site is located at the southwest corner of S Montezuma Street and W Carleton Street and is a total of approximately 0.97 acres. Per the narrative provided by the applicant, the intent is to build a village consisting of 10 Airstream trailers that will be used for short term rentals in a park like setting. Improvements to the site will consist of two fire pits, an event lawn, and landscaping.

The applicant states that the units will be permanently secured to a foundation, but any structures (decks, foundations, etc.) will need to be engineered to be above the regulatory flood elevation and will be structurally stable to withstand the forces of flooding and debris against the structure.

### Background

The property is currently vacant.

### Site Plan Review Criteria

Per Land Development Code (LDC) section 9.8.5/Site Plan Review Criteria, the following criteria are applicable to the proposed project.

#### **9.8.5.B. Building lot and setback requirements**

The proposed structures, as shown on the site plan submitted, meets the setback requirements of 10 feet front and rear setbacks (north and south), 7 feet on the interior

**AGENDA ITEM: SITE22-010:** Site Plan Review to establish a new 10-unit village using Airstream trailers for short term rentals on approximately 0.97 acres. Zoning: BR (Business Regional); Property Owner: Loma Buena LLC; Applicant: Kimley Horn and Associates Inc.; Site APN: 109-03-100 Location: 310 S Montezuma Street.

side (creek side) and 8 feet on the corner side (S Montezuma Street). All structures will need to meet flood requirements.

**9.8.5.F. Internal Circulation, public, private or emergency**

The proposed access and parking area meets code requirements. ADA access will be reviewed with building permits.

**9.8.5.G. Landscaping, screening and buffering**

The proposed Landscape Plan is provided and meets Land Development Code requirements. No screening required since it is not adjacent to residential uses.

**9.8.5.J. Outdoor lighting standards of Sec. 6.11**

Will require details at time of building permit application submittal and will need to meet all dark sky requirements.

**9.8.5.K. Parking and maneuvering areas**

The proposed project includes the parking required for the proposed rental units of 1 per unit plus 1 per employee per shift.

**9.8.5.M. Public road or street access with proposed street grades**

Site access is proposed from S Montezuma Street. The proposed access was reviewed by the City Traffic Engineer who had no issues or other requirements.

**Attachments**

1. Narrative
2. Aerial Location Map
3. Zoning Map
4. Site Plans

<p><b>Recommended Action: MOVE</b> to recommend approval of Site Plan SITE22-010, Airstream Village Rentals per Site Plan provided.</p>
---

## MEMORANDUM

To: City of Prescott

From: Andrew Baird, Kimley-Horn and Associates, Inc.

Date: June 21, 2022

Subject: ***Air Village***  
***Preliminary Site Plan Narrative***

---

## NARRATIVE

Kimley Horn, on behalf of the Loma Buena, LLC is pleased to submit for your review this Preliminary Site Plan for a Ten (10) Custom Airstream Units for short term rental usage in a park like setting.

The Site is located on the southwest corner of Carleton and Montezuma and consists of 0.97 Acres. Development will consist of Ten (10) custom Airstream units which shall be permanently secured to a structurally designed foundation. The units shall also be elevated above the base flood elevation for the Granite Creek Floodway/Floodplain. The site will also consist of landscaping, two fire pits, an event lawn, irrigation, site lighting, utilities and both onsite and street parking.

### Project Vision

Air Village intends to capture the essence of the hometown experience blending contemporary elements and local influence to create a thoughtful design and aesthetic that embraces nature as a means to deliver well-being and satisfaction. Each unit will offer renovated Avions with an integrated indoor/outdoor living space and experience enhanced by several communal spaces (fire pits, event lawn, etc). Surrounded by beautiful elm trees, Granite Creek and downtown shopping/eateries; the village preserves the natural beauty while providing unique accommodations to all Prescott has to offer.

Technology will be used to create a safe experience for guests, enabling contactless check-in and check-out. Individual units allow for the privacy and exclusivity of space with limited interaction with other guests or Community Spaces all guests to enjoy each other.

The Village incorporates the “New Luxury” with embraces practicality, sustainability and technology to enhance the guest experience. Couples and small families are anticipated as the main users of Air Village while the “Wagon Wheel” configuration of the units in the southeast corner of the site allow for a group experience.

### Project History

A PAC (21-065) was held in May 2021. Following the PAC Meeting, Construction Drawings and Reports were submitted in November 2021 and consisted of:

- Construction Plans
  - Site Plan
  - Grading/Drainage
  - Utilities
  - SWPPP
- Reports
  - Traffic Report
  - Water Report
  - Sewer Report
  - No-Rise Memorandum
  - Drainage Report

At the time of the November 2021 the Owner/Design Team was still working through the unit concepts, contemplating half custom units along the creek with half airstream units on the southeast portion of the site. The custom units proved to costly and the design team opted for all ten units to be custom Airstreams. As such the team was able to finalize the landscape plan along with support design of the natural gas system to support the proposed firepits, electrical design to support the lighting and service needs for the units and structural design to support the airstream units and elevate above the base flood elevation.

The 2nd submittal occurred on June 13, 2022 which addressed all of the first review comments provided by the City and a third party and included Landscape Plans, Structural Plans, Electrical Plans and Natural Gas plans.

The overall site plan was not significantly modified between the November 2021 submittal and the June 2022 submittal as the basic layout still included 10 rental units, adequate parking, necessary infrastructure to serve the units and space for a future restaurant currently phased as an event lawn.

### **Preliminary Site Plan and Water Service Agreement**

As the design process proceeded, the City adopted a new water policy which required Preliminary Site Plan approval prior to a Water Service Agreement. As such the Design Team has submitted the Preliminary Site Plan application and applicable sheets from the 2<sup>nd</sup> Construction Drawing Submittal (Site Plan, Structural Details, Landscape, Utilities, etc.) to be utilized for review by the Planning and Zoning Commission.

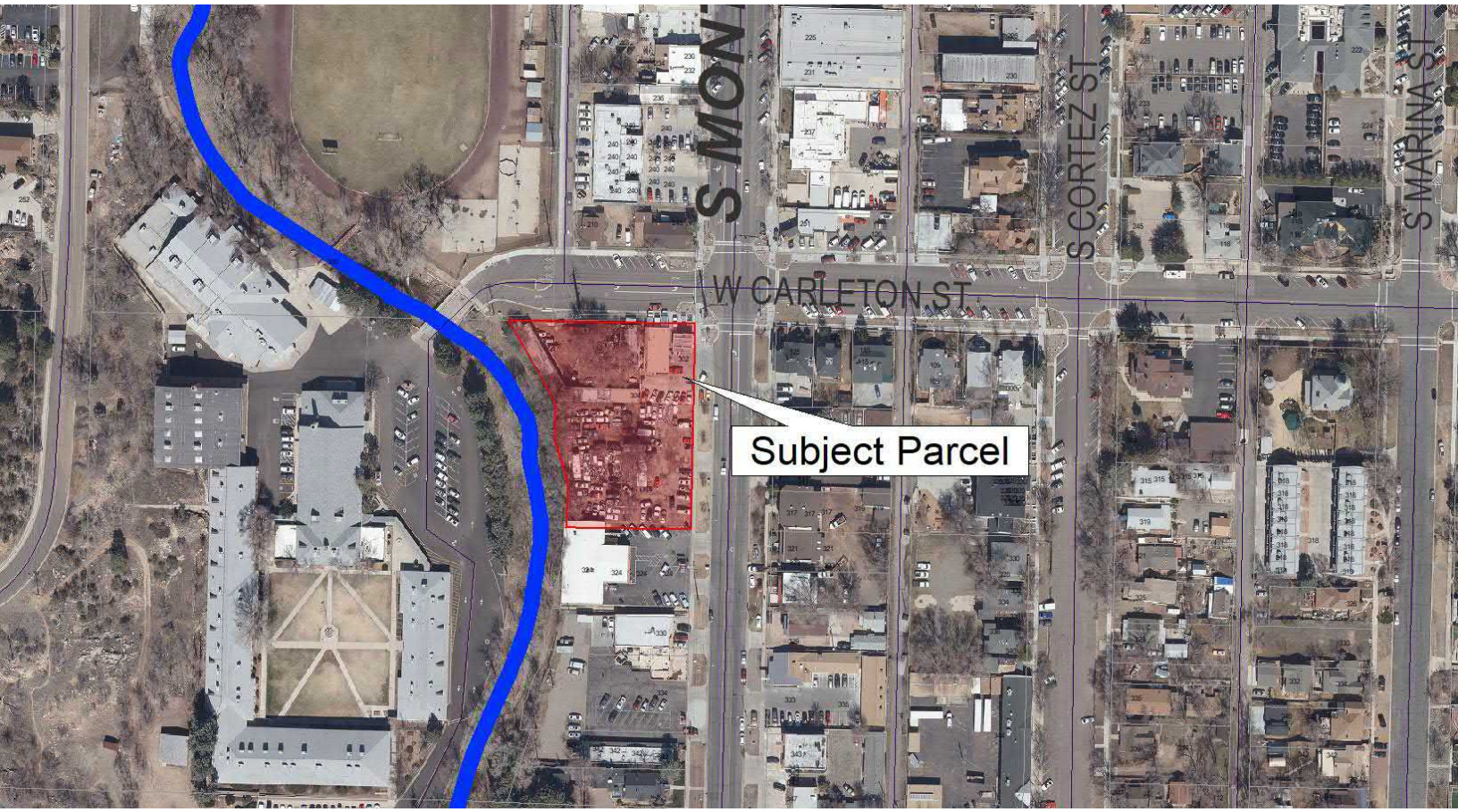
On behalf of Loma Buena and Kimley Horn we look forward to working with you on the above project.

Sincerely:



Andrew Baird, PE  
Project Manager

Attachments – Supporting Site Plan Documents, Concept Units, Lighting and Landscaping



S MON

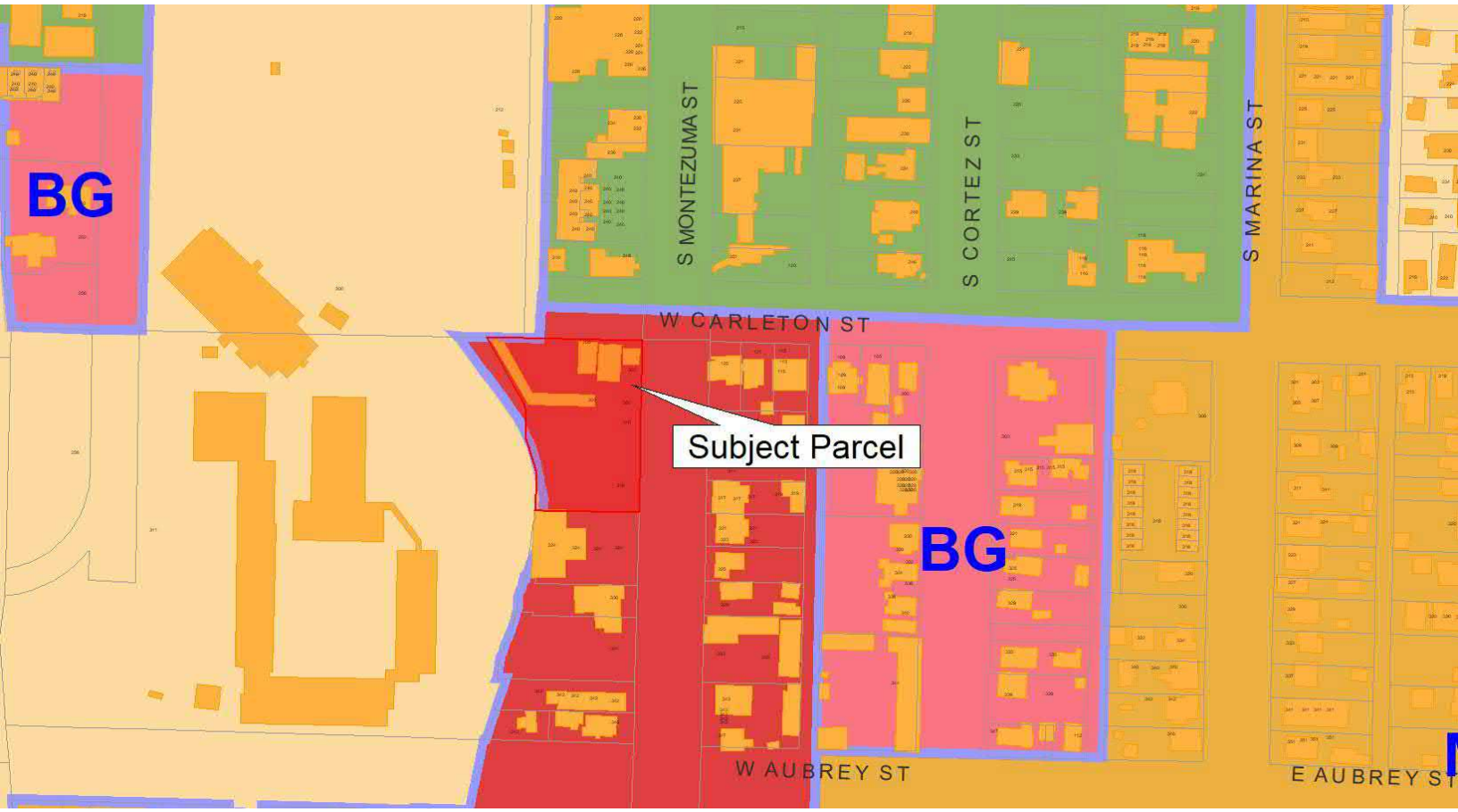
SCORETZ ST

S MARINA ST

W CARLETON ST

Subject Parcel





**BG**

Subject Parcel

**BG**

S MONTEZUMA ST

S CORTEZ ST

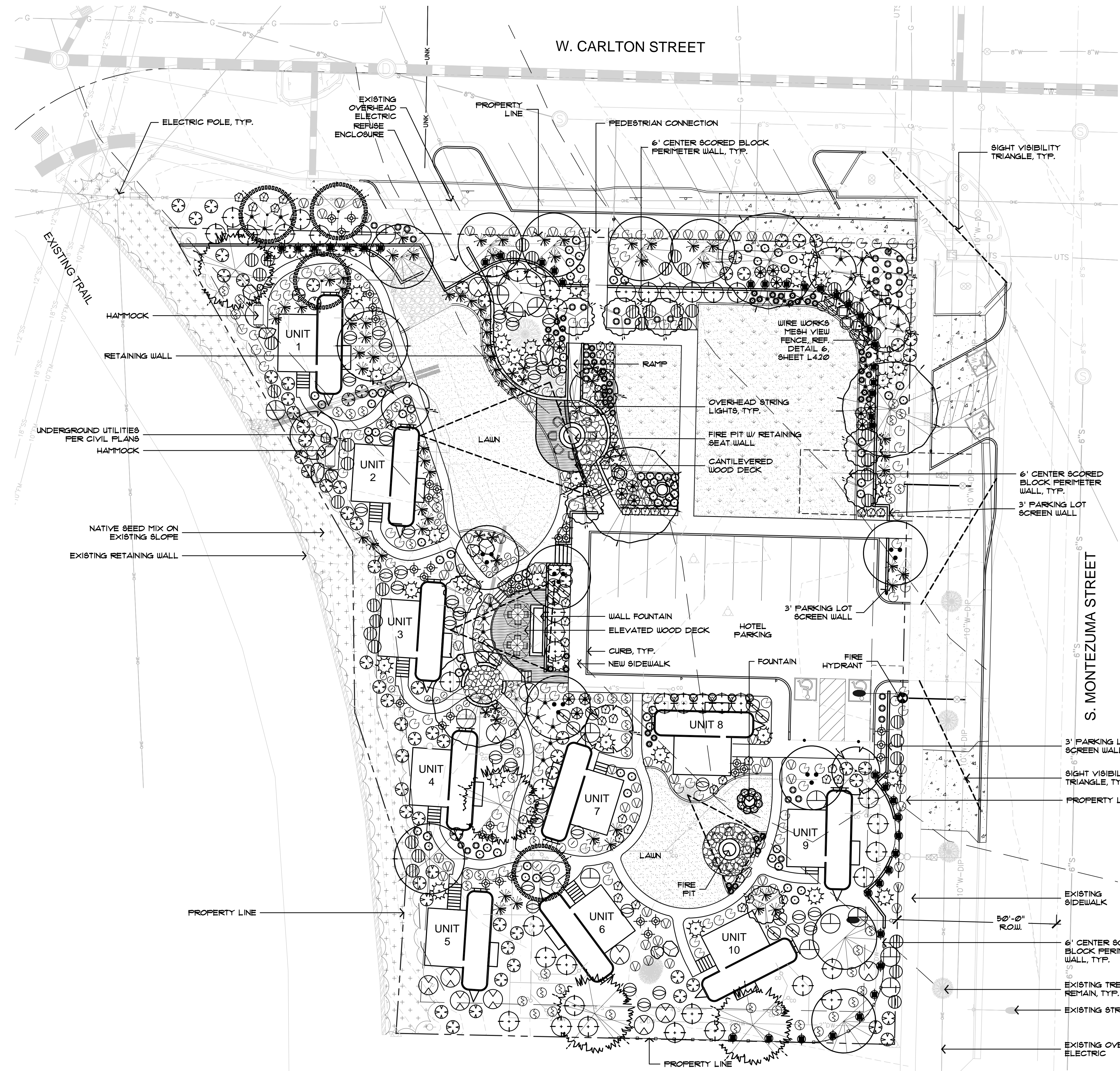
S MARINA ST

W CARLETON ST

W AUBREY ST

E AUBREY ST





**PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
<b>TREES</b>					
	<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Thornless Honeylocust	36" Box	4	Standard trunk
	<i>Sophora secundiflora</i>	Texas Mountain Laurel	24" Box	8	Multi-trunk, dense canopy
	<i>Malus 'Coralburst'</i>	Coral Burst Crabapple	24" Box	9	Multi-trunk, dense canopy
	<i>Quercus gambellii</i>	Gambel Oak	36" Box	1	Multi-trunk, dense canopy
	<i>Picea pungens</i> 'Baby Blue'	Baby Blue Spruce	4'-5' Ht.	2	Standard trunk
	<i>Juniperus scopulorum</i> 'Tollesoni'	Weeping Juniper	4'-5' Ht.	2	Standard trunk
	<i>Prunus cerasifera</i> 'Krauter Vesuvius'	Purple Leaf Plum	36" Box	4	Standard trunk, dense canopy
	<i>Robinia pseudoacacia</i>	Black Locust	36" Box	5	Standard trunk, dense canopy
<b>SHRUBS</b>					
	<i>Kniphofia uvaria</i>	Red Hot Poker	5 Gal	20	Per Plan
	<i>Buddleja davidii</i> 'Black Knight'	Butterfly Bush	5 Gal	15	Per Plan
	<i>Artemisia 'Fowlis Castle'</i>	Fowlis Castle	5 Gal	42	Per Plan
	<i>Forsythia x intermedia</i> 'Spectabilis'	Golden Bell	15 Gal	12	Per Plan
	<i>Picea abies</i> 'Little Gem'	Little Gem Spruce	5 Gal	53	Per Plan
	<i>Lavandula stoechas</i>	Spanish Lavender	5 Gal	95	Per Plan
	<i>Photinia fraseri</i>	Fraser Photinia	15 Gal	44	Per Plan
	<i>Potentilla fruticosa</i>	Shrubby Cinquefoil	5 Gal	43	Per Plan
	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	5 Gal	81	Per Plan
	<i>Salvia greggii</i> 'Hot Lips'	Autumn Sage	5 Gal	31	Per Plan
<b>ACCENTS / VINES</b>					
	<i>Agave parryi</i> truncata	Artichoke Agave	15 Gal	15	Per Plan
	<i>Agave victoria-reginae</i>	Queen Victoria Agave	5 Gal	6	Per Plan
	<i>Bignonia capreolata</i>	Tangerine Beauty Crossvine	15 Gal	5	Staked, pinned and tied to structure as necessary.
	<i>Muhlenbergia lindheimeri</i> 'Autumn Glow'	Autumn Glow Muhly	5 Gal	36	Per Plan
	<i>Dasylirion quadrangulum</i>	Toothless Spoon	15 Gal	25	Per Plan
	<i>Festuca glauca</i>	Elijah Blue Fescue	1 Gal	53	Per Plan
	<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal	62	Per Plan
	<i>Juniperus sabinna</i>	Buffalo Juniper	15 Gal	29	Per Plan
	<i>Rosa banksiae</i>	Lady Banks Rose	15 Gal	44	Staked, pinned and tied to structure as necessary.
	<i>Yucca filamentosa</i>	Color Guard Yucca	5 Gal	14	Per Plan
<b>GROUND COVERS</b>					
	<i>Cotoneaster dammeri</i>	Lowfast Cotoneaster	5 Gal	69	Per Plan
	<i>Juniperus horizontalis</i>	Prince of Wales Juniper	5 Gal	123	Per Plan
	<i>Mahonia repens</i>	Creeping Oregon Grape	5 Gal	51	Per Plan
	<i>Taenidium canadense</i>	Germander	5 Gal	44	Per Plan
<b>MISCELLANEOUS</b>					
All landscape areas to receive 2" depth Decomposed Granite, 1/2" screened "Mahogany" by Rock Pros USA or Approved Substitute - <b>\$6,172 SQ. FT.</b>					
Fescue Blend Sod (90% Turf Type Tall Fescue/10% Kentucky Bluegrass) - <b>\$6,465 SQ. FT.</b> w/ Extruded Concrete Header - <b>\$1,920 LN. FT.</b>					
Surface Select Boulders to Match Development, placed per plan - <b>LAYOUT PER PLAN</b>					
Slope stabilizing-western slope to receive native seed mix, topsoil, mulch fertilizer and be stabilized with North American Green Econet P300 Permanent Erosion Control Blanket or approved equal.					

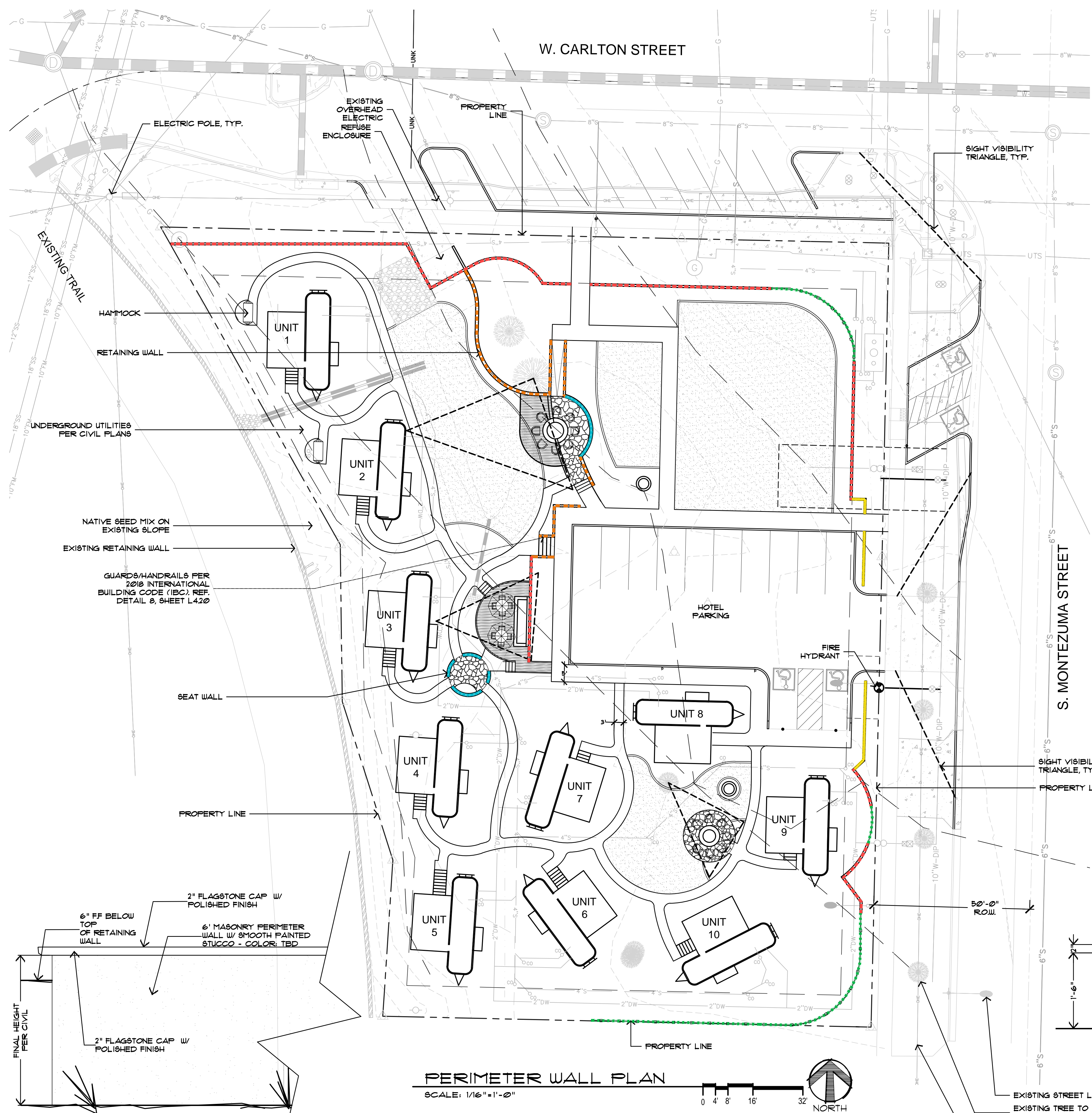
**NATIVE SEED MIX**

LBS/AC.	BOTANICAL NAME	COMMON NAME
2	<i>Arctostaphylos densiflora</i>	Common Manzanita
2	<i>Bouteloua curtipendula</i>	Sideoats Grama
1	<i>Bouteloua gracilis</i>	Blue Grama
15	<i>Juniperus monosperma</i>	Oneseed Juniper
2	<i>Lupinus argenteus</i>	Silvery Lupine
3	<i>Quercus turbinella</i>	Shrub Oak
2	<i>Penstemon palmerii</i>	Palmer's Penstemon

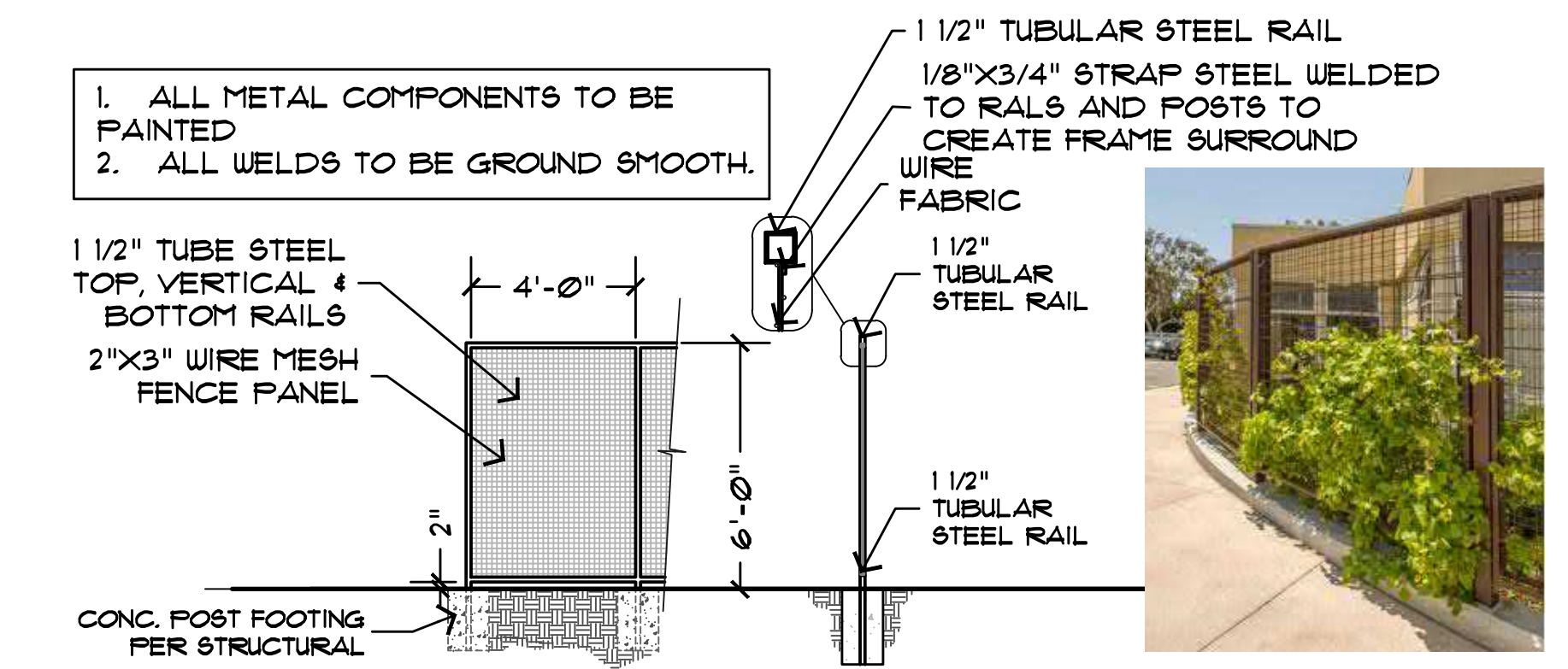
SEEDLING RATE: 13.5 LBS / ACRE

**LANDSCAPE PLAN**  
SCALE: 1/16" = 1'-0"  
0 4 8 16 32 NORTH

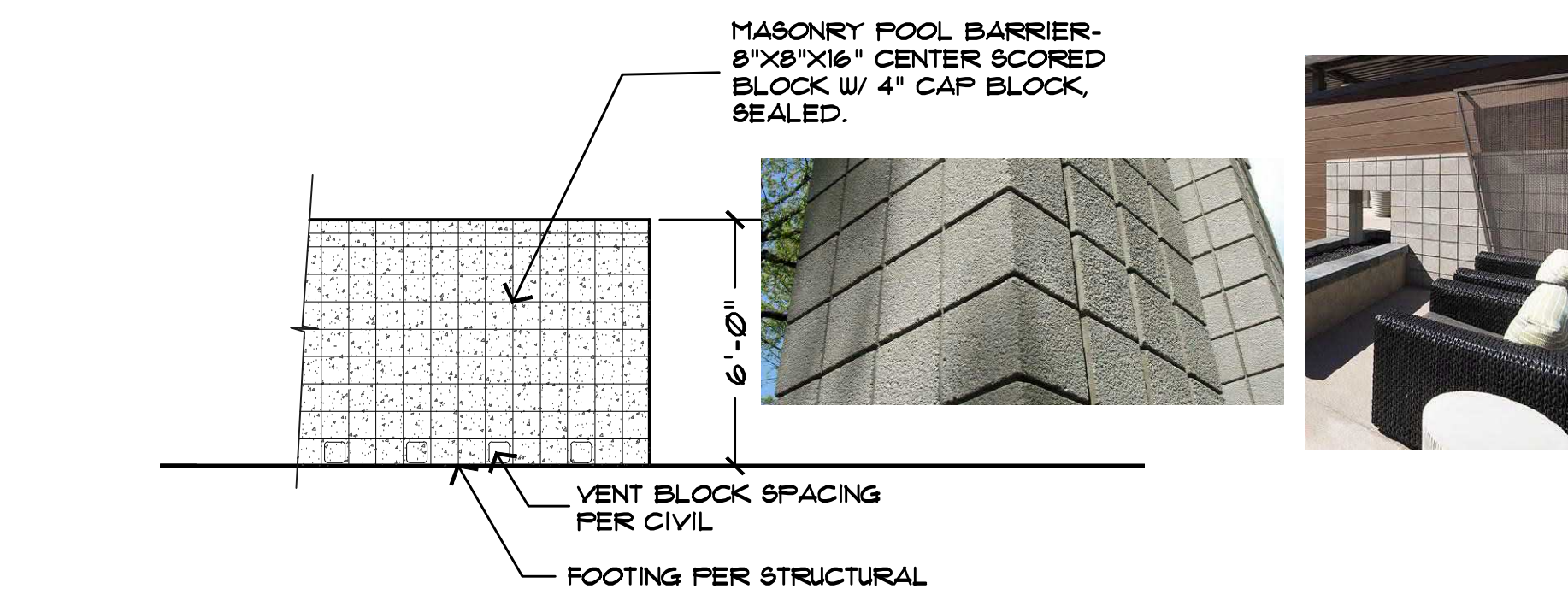




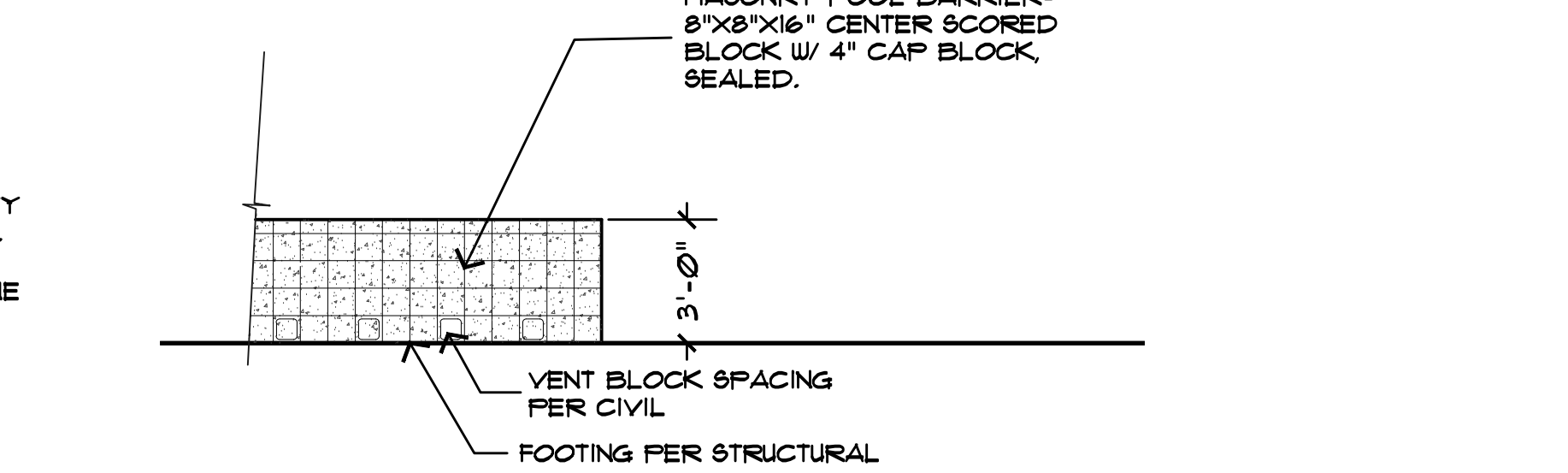
WALL LEGEND	
SYMBOL	DESCRIPTION
	6' WELDED WIRE VIEW FENCE (REF. DETAIL A BELOW) 106 LF
	6' MASONRY PERIMETER WALL (REF. DETAIL B BELOW) 230 LF
	3' MASONRY SCREEN WALL (REF. DETAIL C, BELOW) 60 LF
	16" MASONRY SEAT WALL (REF. DETAIL D, BELOW) 52 LF
	MASONRY RETAINING WALL - PER CIVIL (REF. DETAIL E, BELOW) 164 LF



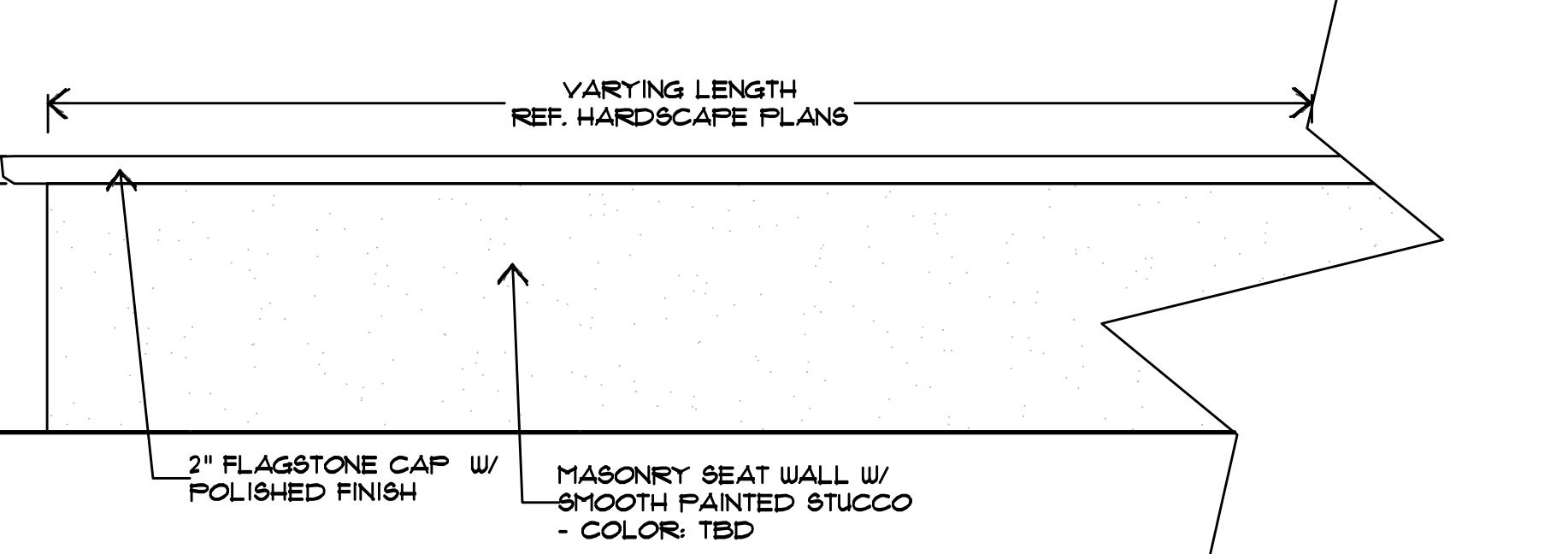
**A WELDED WIRE VIEW FENCE/GREEN SCREEN**  
SCALE: 1/4" = 1'-0"



**B 6' MASONRY PERIMETER WALL**  
SCALE: 1/4" = 1'-0"



**C 3' MASONRY SCREEN WALL**  
SCALE: 1/4" = 1'-0"

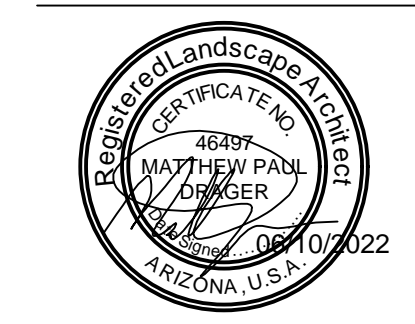


**D SEAT WALL**  
SCALE: 1" = 1'-0"

**E RETAINING WALL**  
SCALE: 1" = 1'-0"



Collaborative V  
Design Studio Inc.  
7116 East 1st Ave.,  
Suite 103  
Scottsdale, Arizona  
85251  
office: 480-347-0590  
fax: 480-656-6012



EXPIRES 06/30/2022

**LANDSCAPE IMPROVEMENT PLAN**  
**PRESCOTT AIR VILLAGE**  
 SWC Montezuma and Carleton Street - Prescott, Arizona

**PERIMETER WALL PLAN**  
 DESIGNED BY: PV/SH  
 DRAWN BY: SH  
 CHECKED BY: PV / MD  
 DATE: June 10, 2022  
 PRESCOTT AIR VILLAGE









